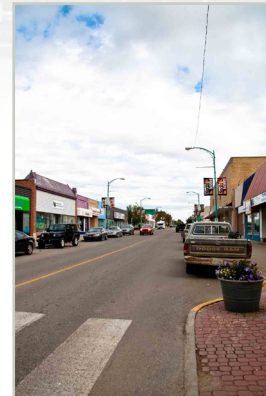


CITY OF NORTH BATTLEFORD

DOWNTOWN REVITALIZATION ACTION PLAN





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FEBRUARY 2017

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ACKNOWLEDGEMENTS

Crosby Hanna & Associates wishes to acknowledge and appreciate the dedicated team of North Battleford staff, business owners, community members, residents and the various professionals that have contributed to this comprehensive, integrated project. Without the valued input of this diverse range of players, this Downtown Plan could not have come together to represent the vision of the North Battleford community.

It was always the intention that the Downtown Revitalization Action Plan be completed by, for, and about the downtown North Battleford community, as well as the city and its citizens as a whole. We truly hope the vision and strategies in this Plan serve the community's needs for years to come.

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EXECUTIVE SUMMARY

The City of North Battleford Downtown Revitalization Action Plan combines a forward thinking vision with strategic direction and recommendations to revitalize North Battleford’s downtown. Input from community stakeholders, the North Battleford Business Improvement District (BID), and the City of North Battleford (City) Administration and Council has shaped the direction and goals of this Plan.

Economic, social, safety, and aesthetic considerations—implemented by the City, the BID, and the community at large—will help to revitalize the downtown. A summary of these considerations follow.

Economy:

- Investigate potential for redevelopment through strategic directions such as continuing to collaborate with First Nations to invest in existing properties, creating hubs for Indigenous business development that continue to build upon existing First Nation development in the downtown.
- Providing for Property Tax Abatements.
- Utilizing programs for development rebates.
- Expansion of the current façade improvement grant program.
- Use of additional incentive programs to address vacant lots and preservation of heritage buildings.

Community:

- Strategic planning for: a downtown destination project; a permanent, year-round farmers’ market; and other destination sites and developments in line with the future vision for the downtown.
- Developing a downtown “theme.”
- Making increased foot traffic, especially after business hours, a top priority. This goal is in the pursuit of safety, enjoyment, and to provide opportunities for dining, boutique shopping, vibrant street activity, events and entertainment.

Safety:

- Use Crime Prevention Through Environmental Design (CPTED) principles for subsequent planning and development in the downtown.

- Address safety concerns and maintenance issues through incentive programs and bylaw updates.
- Continue to use signage, beautification efforts and events.
- Address the proliferation of surface parking lots and abandoned lots.

Revitalization Schematic

Architectural Controls:

In addition to the recommendations offered based on the economic potential of the downtown, the community’s input, and safety concerns, a revitalization schematic including a set of Downtown Architectural Controls has been developed and includes four distinct “character zones”:

- Main Street Character Zone
- King Street Character Zone
- Civic Character Zone
- King Street Crossing Character Zone

The specific guidelines are an indispensable part of the Downtown Plan. They address the development of a visually appealing downtown commercial district and encourage public safety, walkability, and enjoyment. These guidelines provide architectural guidance while allowing businesses independent design freedom appropriate to their unique needs.

Public Realm Framework:

The public realm makes up all publicly accessible spaces in an urban environment. The quality of spaces within the public realm is integral in the creation of successful and vibrant urban environments. Revitalizing these spaces is central to the revitalization of the downtown.

A coherent and appealing vision for the public realm, divided between the same four Character Zones defined in the Architectural Controls, is presented. It will provide guidance and inform decision making in regard to public space improvement strategies.

Action Items & Priorities

The action items identified throughout the Plan are indexed in the final Section and given priority in order to ensure manageable and consistent implementation of the Downtown Revitalization Action Plan.



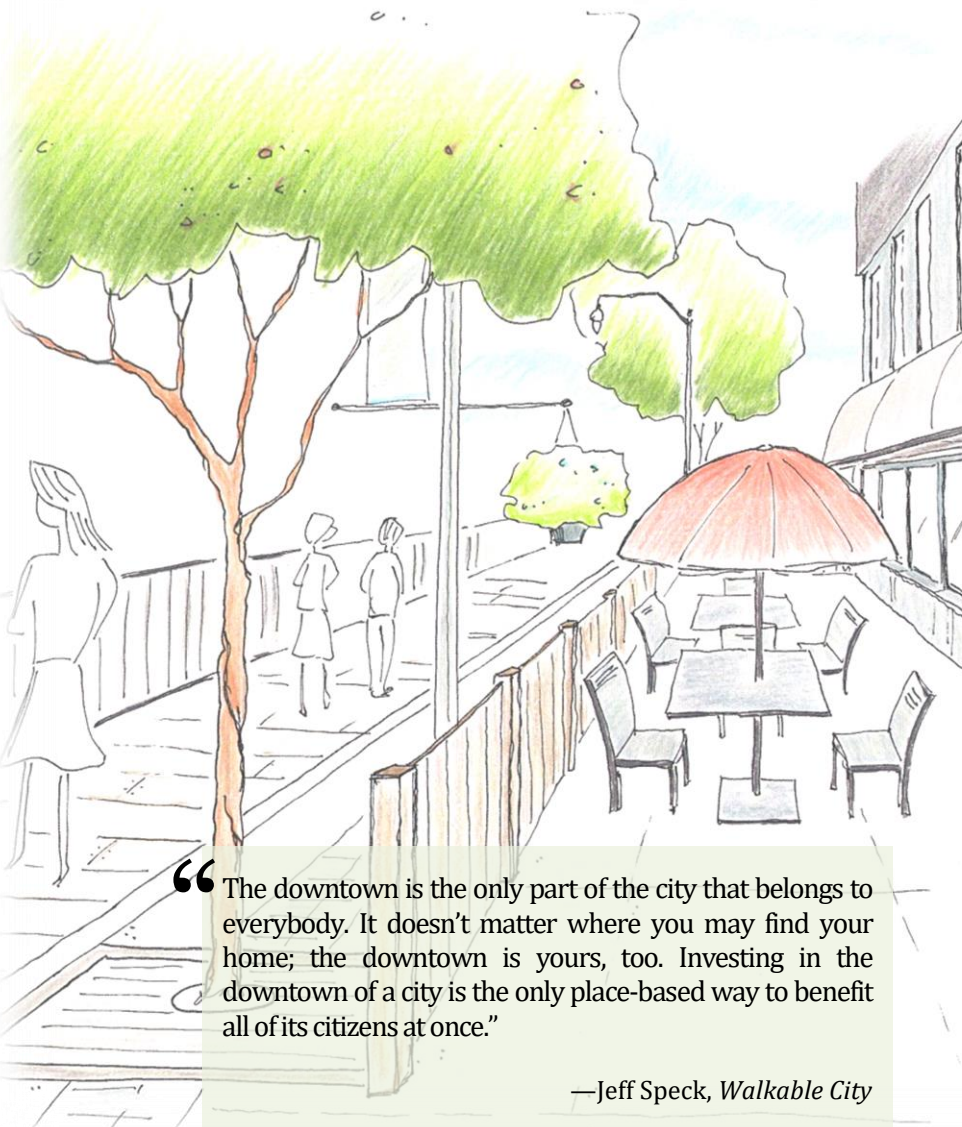
1 INTRODUCTION

The purpose of the *North Battleford Downtown Revitalization Action Plan* (“the Downtown Plan” or simply “the Plan”) is to provide the City of North Battleford, Saskatchewan with a vision, objectives, and strategies that effectively and achievably address the revitalization of its historic downtown core.

The Downtown Plan is intended to guide development in the city centre over the next twenty-five years and to serve as a catalyst for generating investment, economic activity, and enjoyable street life in the heart of North Battleford. Often referred to as the “living room” of a city, the downtown serves as its central business district, its historic settlement area, its primary commercial and cultural environment, its largest pedestrian space, and a reflection of the city as a whole. It is the intent of this Plan to help downtown North Battleford better reflect these realities.

The objectives and strategies that form the Downtown Plan necessarily consist of both policy and design changes. Achieving successful downtown revitalization relies on the strategic combination of effective policy and good urban design.

Cities, and especially downtowns, are by nature *general*; they are the sum of their uniquely different parts. Naturally, this demands that their plans be general as well. This Plan has been formed from the combined vision of a diverse range of players: civic leaders, administration, planners, designers, architects, economists, sociologists, business owners, and community members. Interdisciplinary collaboration and community engagement have been integral to the development of this Plan, just as it will be for the revitalization of downtown.



“The downtown is the only part of the city that belongs to everybody. It doesn’t matter where you may find your home; the downtown is yours, too. Investing in the downtown of a city is the only place-based way to benefit all of its citizens at once.”

—Jeff Speck, *Walkable City*

1.1 STUDY AREA: DEFINING DOWNTOWN

Using the methodology outlined in the 2012 Canadian Urban Institute study entitled “The Value of Investing in Canadian Downtowns”, four key criteria were used to define North Battleford’s downtown:

- include the city’s financial core;
- include the city’s “main” or “high” street (featuring commercial and mixed-use buildings, municipal and other government offices, major public spaces, cultural institutions, and high-density residential development);
- utilize a hard-edged boundary such as a major street, train tracks or natural feature such as a water body; and
- include compiled data (e.g. census tracts) to make the area workable for the project logistics.
(Canadian Urban Institute 2012)

Based on the above criteria and for the purposes of this study, downtown North Battleford—the Proposed Revitalization Area—is defined as the same area identified by the North Battleford Business Improvement District (BID) plus additional strategic areas, as illustrated on Figure 1-1.



Figure 1-1: Proposed Revitalization Area

2 VISION

Downtown North Battleford is the place to be—an active and inviting boutique shopping destination with a mix of retail, restaurants, and events.

The downtown is a safe and lively environment that encourages walking and rewards exploration.

The downtown is the beating heart of North Battleford—the place where its past, present and future converge, and its citizens come together.

Downtown is the place to be...

The vision statement to the left exemplifies the initiative of the downtown North Battleford stakeholder community and their commitment to strengthening the city centre. It is the intention of this Plan that the downtown vision represents and in fact *belongs to* the entire North Battleford community. It brings the city together under a single idea: that the downtown is important to them.

The foundation of the downtown vision (based on the vision statement initially developed in the 2013 Downtown North Battleford Strategic Plan) is an equal balance of both legacy and progress as well as the importance of the role of citizens in the community. The historical significance of North Battleford is appreciated and built upon in an effort to move toward a brighter future for all North Battleford residents and visitors.

In order to ensure that the downtown vision is reflected in reality and made to be as public and tangible as possible, it will inform the inspiration for the design and overall downtown theme outlined in this Plan. In this way, the vision for downtown North Battleford is more than just an idea on paper; it becomes a physical part of the downtown itself.



Photo credit: North Battleford Business Improvement District

3 ECONOMY

3.1 BACKGROUND

- North Battleford has a dated inventory of downtown buildings. More than 50 percent were built prior to 1950, and only 12 percent since 1980.
- Approximately 20 percent of the space available in the City of North Battleford is vacant, which poses difficulties in attracting and retaining tenants in the downtown specifically.
- Property taxes in North Battleford are among the lowest in the province. Average sale price per square foot in the downtown (approximately \$40) is about six times lower than the average observed in the central business districts of Saskatoon and Regina. The relative affordability of acquiring a building in downtown North Battleford does not appear to be a major deterrent.
- The most significant challenge for all development in Saskatchewan is cost of construction (30 percent more expensive than other regions in Canada). The current rental rates in North Battleford are not at levels that reward the risk and cost of redeveloping a property in the downtown.
- Existing development incentive programs in North Battleford can be fully leveraged.
- North Battleford's Indigenous population has been growing exponentially in the past decade, with fully 42 percent of all children in the city identifying as Indigenous. This demographic is becoming and will continue to be a significant player in the future of North Battleford.
- The Riversdale district of Saskatoon has many historic parallels with downtown North Battleford. Its recent revitalization in the past decade may provide inspiration and guidance for a similar regeneration of North Battleford's central business district.

3.2 STRATEGIC DIRECTION

As a major centre of northern Saskatchewan, North Battleford is well situated to support Indigenous Reserves throughout the province and surrounding area. A number of First Nations have expressed frustration in the lack of office/retail space designed for Indigenous business, but new construction on their rural land holdings is prohibitively expensive and often risky.

First Nations have historically supported and continue to support the vitality of North Battleford's downtown by developing enterprises within the core. Currently, the Battlefords Agency Tribal Chiefs (BATC) and Battlefords Tribal Council (BTC) operate offices out of downtown North Battleford. These important relationships can continue to be nurtured as there remains potential for other Indigenous-led business development in the downtown that can benefit the entire community. An example of such development in downtown Saskatoon is the Yellow Quill First Nation's proposed LEED-certified office complex on their Reserve land at 4th Avenue and 20th Street, as well as the existing adjacent building housing the First Nations Bank of Canada.

There is opportunity for prospective First Nations developers to invest in existing properties in urban centres near Reserves—such as North Battleford—in order to minimize costs and maximize chances of long-term development success. **Targeting and collaborating with these groups and marketing downtown North Battleford as a hub for Indigenous business development may help pave the way for downtown regeneration and increased business activity in the city as a whole.**

3.3 REDEVELOPMENT POTENTIAL

In addition to evaluating market conditions in the downtown, the consulting team investigated the potential for redevelopment in the downtown. A total of twenty-two sites were identified as having an opportunity for development or redevelopment due to vacancy, age, and overall façade appearance.

A conservative, “worst-case” assumption was made that all twenty-two buildings would require substantial reinvestment. Redevelopment is often as expensive as building new, and a standardized development cost of \$166 per square foot was employed.

The twenty-two properties in question are indexed in **Table 3-1** on the following page. The analysts estimated that the total value of redevelopment and sale of the land could be between \$18 and \$25 million. The increase in total property tax was estimated at over \$450,000 in tax year 2015, a 700 percent increase over 2014. See Table 3-1 for details.

3.4 RECOMMENDATIONS

The City of North Battleford, the North Battleford Business Improvement District (BID), and prospective developers should consider the following **economic recommendations** as tools or policies to pursue, as appropriate, in helping to revitalize the downtown.

(1) Five-Ten Year Property Tax Abatement

- Designed to off-set some of the costs of holding onto an experimental or risky project until the developer finds tenants or sells units.

(2) Saskatchewan Housing Corporation

- Variety of housing programs contingent upon certain conditions (such as maximum rents, etc) in return for development rebates.

(3) Federation of Canadian Municipalities Brownfields Program

- Provides 50 percent grants for plans, studies, and field tests up to \$175,000.
- Offers below-market loans up to \$10 million for capital projects, and grants up to \$1 million or 20 percent of the loan.
- Significant opportunity for any contaminated or major rehab-required sites in the downtown.

(4) North Battleford BID Façade Improvement Grant

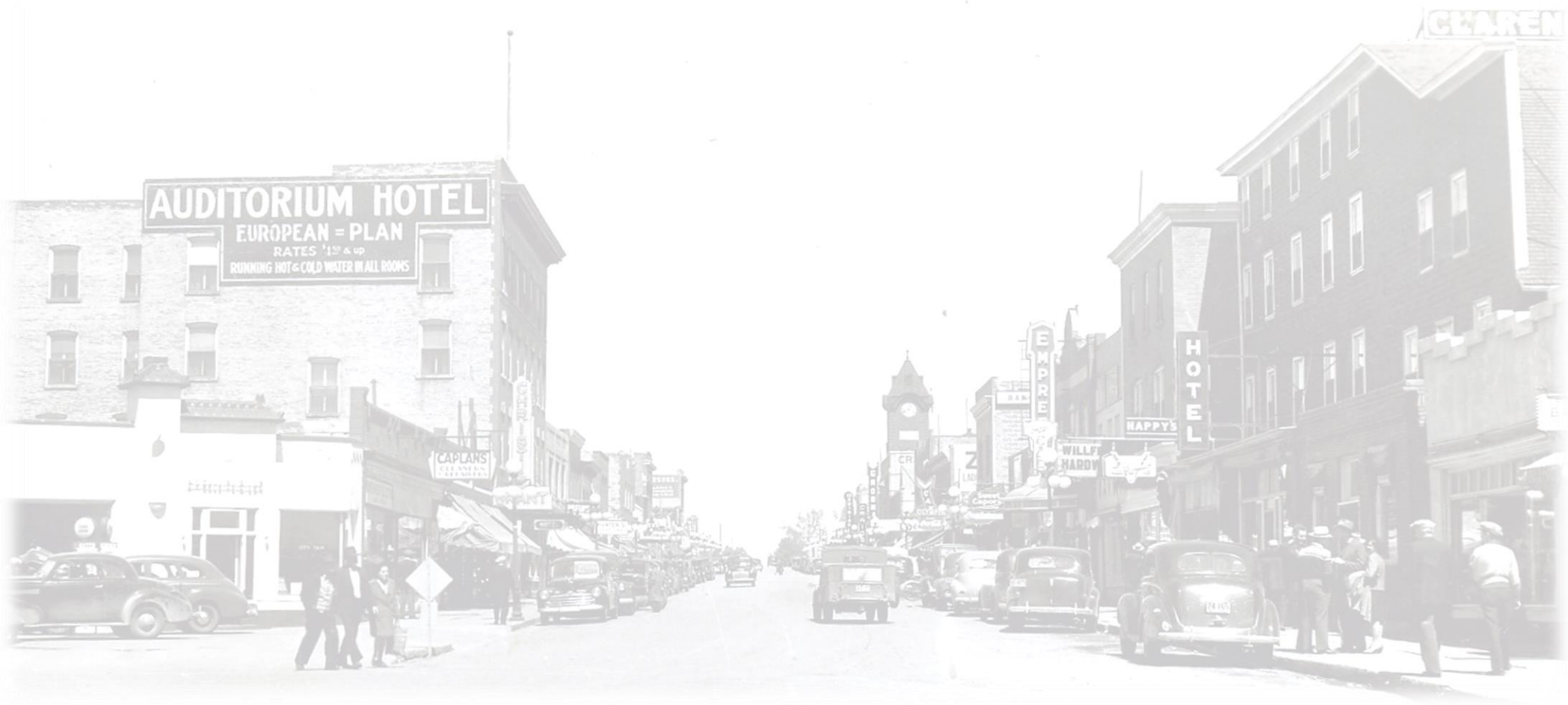
- Currently available to downtown businesses for the purpose of enhancing or restoring any street-facing façade. Limited to 50 percent of the projected expenses to a maximum of \$2,500.
- Consideration could be given to increasing the grant funds available over both the short and long term.

(5) Investigate Other Incentive Programs

- Examples of successful incentive programs from other Canadian cities have been detailed in the companion Background Report. Recommended among them are:
 - i. A “vacant lot and adaptive reuse incentive program” similar to the City of Saskatoon. Vacant lots are problematic in the downtown for a number of reasons.
 - ii. Various heritage-focused programs, including maintenance/restoration of existing heritage properties and encouragement toward the designation of more heritage properties in the downtown.
- The City and the BID are encouraged to draw inspiration from the recent revitalization of the **Riversdale Business Improvement District** in Saskatoon and consider developing a relationship with this or other BIDs who are undergoing revitalization efforts.

**Table 3-1:
Sites in Downtown North Battleford with Redevelopment Opportunity**

Street	Address	Age of Building	Parking	One Storey Redevelopment (SF)	Cost Approach	Income Approach	Property Tax Est. (Income Approach)	Lot Size (acres)
11th Ave.	10107	1908	14	11,200	\$1,962,111	\$1,792,000	\$43,151	0.37
102nd St.	1141	1910	5	4,200	\$735,620	\$672,000	\$16,182	0.14
102nd St.	1135		3	2,100	\$348,600	\$336,000	\$8,091	0.07
102nd St.	1132	1958	16	12,600	\$2,326,388	\$2,016,000	\$48,545	0.41
11th Ave.	10103	1913	4	3,500	\$1,042,039	\$560,000	\$13,485	0.11
100th St.	1172	1910	8	6,300	\$1,314,246	\$1,008,000	\$24,273	0.21
100th St.	1166	1952	3	2,100	\$532,075	\$336,000	\$8,091	0.07
101st St.	1142	1925	4	3,360	\$949,800	\$537,600	\$12,945	0.11
100th St.	1161	1950	3	2,100	\$712,413	\$336,000	\$8,091	0.07
100th St.	1191	1929	8	6,300	\$1,152,783	\$1,008,000	\$24,273	0.21
100th St.	1270	1960	3	2,100	\$780,541	\$336,000	\$8,091	0.07
100th St.	1132	1910	3	2,100	\$662,232	\$336,000	\$8,091	0.07
Railway Ave. E	80	1955	13	10,684	\$1,773,478	\$1,709,377	\$41,162	0.35
100th St.	1165	1958	3	2,100	\$846,926	\$336,000	\$8,091	0.07
101st St.	1112	1910	4	2,940	\$964,835	\$470,400	\$11,327	0.10
101st St.	1131	1944	3	2,100	\$784,200	\$336,000	\$8,091	0.07
100th St.	1142	1913	5	4,200	\$888,864	\$672,000	\$16,182	0.14
101st St.	1132	1935	6	5,040	\$1,359,360	\$806,400	\$19,418	0.17
101st St.	1092	1910	6	4,900	\$1,641,911	\$784,000	\$18,879	0.16
King St Station	A		6	4,604	\$764,312	\$736,687	\$17,739	0.15
King St Station	B		16	12,807	\$2,125,902	\$2,049,062	\$49,341	0.42
King St Station	E		13	10,215	\$1,695,660	\$1,634,371	\$39,356	0.34
TOTAL				117,549	\$25,364,298	\$18,807,897	\$452,894	3.86



4 COMMUNITY

4.1 BACKGROUND

- A **SWOT analysis** (Strengths, Weaknesses, Opportunities, Threats) was undertaken with the North Battleford Business Improvement District (BID) in May 2015. **Strengths** and **weaknesses** are characteristics of the downtown that are internal, current, or possible to manage, while **opportunities** and **threats** are characteristics that are external, potential, or difficult to manage.
- A **visioning session** was conducted with a diverse group of community stakeholders in February 2016 in order to understand the community's needs, wants and desires for North Battleford's downtown.
- The process of developing the Downtown Plan was also driven by a steering committee with representatives from the BID, City Council, and City Administration who provided the consulting team with feedback and direction at various stages throughout the process.
- Direction was also taken from the BID's "Downtown North Battleford Strategic Plan" (August 2013), which includes priorities, issues, and directions for the Business Improvement District.
- The results of these engagement exercises are detailed in the companion Background Report and summarized here.
- Highlights from the **SWOT analysis** include:
 - Some things were identified as both strengths and weaknesses/threats, such as the location of the liquor store (brings people downtown, but associated with social problems), and the amount of parking downtown (good for businesses that rely on vehicle traffic, but too much parking, particularly off-street lots, detracts from the streetscape and doesn't encourage window-shopping).
 - Repeatedly identified was the apparent neglect of the downtown overall, in terms of infrastructure (sidewalks, benches, greenery, street trees), perceived safety and comfort, the upkeep of certain businesses or properties, the high vacancy rate, and the lack of nightlife/street activity/accommodations/entertainment.
 - King Street Station was noted as having potential for focused revitalization. It could be used for entertainment, retail, market space, special events, a sports/community centre, and other amenities to draw people downtown.
- Highlights from the **visioning session** include:
 - Night life in downtown North Battleford needs to be expanded.
 - The idea of having sidewalk cafés, unique boutique shops and restaurants catering to the existing office crowd, as well as weekend visitors to downtown North Battleford, was something several individuals identified.
 - There is a strong desire to see a future rink/arena locate in the downtown.
 - While a number of people identified the history, specifically the railroad history and settlement of the west as a potential theme to be explored in the downtown, various stakeholders also expressed a desire to see promotion of Indigenous history and culture in the downtown.
 - A desire was expressed by a number of stakeholders to see better connections to the river valley.
 - The idea of having a more permanent farmers' market was expressed several times. Beyond the attraction itself, it would also funnel traffic through the downtown which would provide opportunities for existing businesses and shops to promote their products and services.

- A modern play on the 1913 North Battleford theme “*We’re Young but Ambitious*” was discussed. Several stakeholders felt that the City needs to build on a more modern theme to draw people to the downtown. Anchor tenants that could support such a theme could be educational providers (the North West Regional College, the Academy of Learning, and other education providers), which could tie into the development of the Battlefords Trade and Education Centre.
- Highlights from the **steering committee discussions** include:
 - Downtown requires a large, unique amenity to draw in city and regional residents.
 - a two-sheet hockey arena large enough to host tournaments and other events; and/or
 - a strong emphasis on education providers (Northwest Regional College, Academy of Learning, and the future Battlefords Education and Training Centre) were identified as strong possibilities.
 - An emphasis on after-hours street activity in the downtown—especially as it relates to a new, large amenity and including any spin-off business opportunities—was stressed.
- Highlights from the **Downtown North Battleford Strategic Plan** include:
 - Developed in 2013, this Strategic Plan offers valuable insight into the BID’s goals and directions for the revitalization of downtown.
 - Potential taglines for the downtown that were developed include: “*We’re Glad You’re Here*”, “*Your Destination Place*”, and “*Surprise Yourself*.”
 - The Board believed that the right mix of businesses in downtown North Battleford combined with the development of events that bring people to the neighbourhood should be its primary focus.

- The priorities of the BID include: *change perception; improve aesthetics; address empty buildings; increase social interaction; and improve relationship with the City.*
- The BID’s mission is to champion the transformation of downtown North Battleford through investment attraction, signature events, restaurants, and events.

“What makes [the downtown] lively is the way so many different kinds of activities tend to support each other ... Where you find the liveliest downtown, you will find one with the basic activities to support two shifts of foot traffic. By night it is just as busy as it is by day.”

—Jane Jacobs,
The Death and Life of Great American Cities

4.2 STRATEGIC DIRECTION

It is clear that downtown North Battleford requires a new and unique amenity or attraction to draw life into the downtown—for more than just eight hours per day—resulting in many other ancillary benefits. The development of a **multi-use hockey arena/community complex** and/or theatre is a strong contender for this type of use.

Opportunities to engage patrons of such a facility in other ways—dining, shopping, entertainment—need to be leveraged as well, in order to bring and **keep** foot traffic within the downtown, especially after business hours.

Increasing foot traffic within the downtown is a multi-faceted challenge, but it provides many benefits identified as goals by various members of the community—boosting local economic activity, generating incentive for redevelopment, increasing safety through eyes on the street, and combating negative community perceptions about the downtown.

The efforts required to increase downtown foot traffic need to come from:

- the **City**, in the form of infrastructure and streetscape investments, development standards, long-term planning, attractive tax policy, and marketing/branding;
- the **BID**, in the form of marketing/branding, beautification and upkeep, locational incentives, and other economic development;
- **business owners**, through lively storefront and sidewalk usage, active community participation, employee parking policies, downtown vision buy-in, and celebration of uniqueness and “localism”;
- **prospective developers**, through understanding of the vision for downtown and their role in achieving it (including how they can benefit), especially First Nations developers as discussed in Section 3;
- **engaged citizens**, through support of the local economy, word-of-mouth, and deliberate patronization (i.e. voting with their dollar).

4.3 RECOMMENDATIONS

The following **community recommendations** are directions or initiatives for the City and the BID, in partnership, to take in the interest of following through on the desires of the community as expressed during the development of this Plan.

(1) Begin strategic planning for large downtown attractions.

- There are two feasible locations for development of large-scale multi-use events and entertainment complexes. These two locations (indicated on Figure 4-1 on the following page) are as follows:

- **Proposed arena location:** Block 4, bounded by 12th Avenue, 100th Street, 11th Avenue, and 99th Street.
- **Currently proposed theatre location:** Parcel A, Block 6 and parts of Block 9, bounded approximately by 11th Avenue, 101st Street, Railway Avenue, and 100th Street (additional strategic areas included).
- Potential development of a future arena and multi-use events complex at the indicated site would allow for maximization of strong southwesterly views toward the river valley with a second or higher storey. Strong connections to Highway 4 and Highway 16 will allow ease of access for facility patrons.
- The development of a multi-screen theatre/cinema, or a similar project, on the King Street Station site would be appropriate for this “hub” location, with proper design guidance and care taken to allow the downtown massing to naturally “descend” to terminate at the CN Station and any potential development the CN Station may host, as a critical site in North Battleford’s downtown.
- If large buildings, such as the proposed theatre, do develop on the King Street Station site, it will be critical that they are designed to acknowledge and respond to the important surrounding and adjacent sites. Maintaining pedestrian links and scale is critical to cultivating a walkable downtown hub.
- It is recommended that the Council of the City of North Battleford consider reducing the amount of vehicle parking typically associated with such large developments, using tools such as Sections 4.9.1 (7) and 4.9.2 of the Zoning Bylaw. Not only is large amounts of surface parking incompatible with lively street life in general, but a sufficient amount of parking already exists within other areas of the downtown, which can provide for these developments. Event-goers having to make the occasional walk through the downtown, passing by storefronts, to get between the arena/theatre and their parking spot helps to achieve other objectives associated with increased foot traffic.

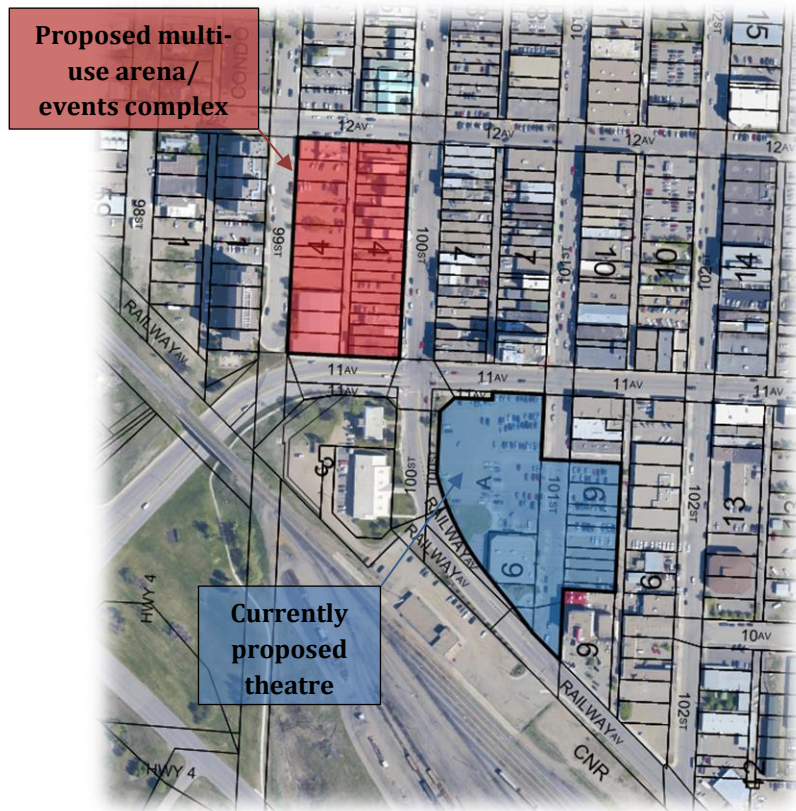


Figure 4-1: Options for future development of downtown arena

- ***Important note:*** Proposed locations for arena and theatre development do not include or imply removal or replacement of any existing properties. Specific and detailed development options, including sensitive repurposing and preserving of valuable and historic existing buildings are to be fully considered during the planning stages for future facility development.

(2) **Begin strategic planning for a permanent farmers’ market, King Street Station or similar development, educational institutions, and other projects that follow the vision of the Downtown Plan.**

- A farmers’ market, even an indoor facility, is a less permanent development than an arena, and so careful long-term planning for its location is of less importance. However, two ideal locations have been identified: either Parcel A, Block 6 (the parking lot that is the future King Street Station site), or just south of Railway Avenue next to the old CNR building. Either location would be appropriate for the short-term, but a **permanent, year-round, indoor/outdoor hybrid development next to and ideally incorporating the historic CNR building** (as an adaptive reuse of an attractive heritage site) is better suited for the long-term vision for downtown North Battleford.
- Educational institutions could also serve as major attractions to the downtown, and would be especially effective at **retaining** foot traffic. Relocation of institutions or expansion of institutions is encouraged to happen in the downtown. The mere presence of significant numbers of students both during the day and possibly in the evening will incentivize other downtown business development.
- The mixed-use, pedestrian-scale development originally proposed at King Street Station would be an appropriate and effective development at this site (highlighted as the **currently proposed theatre location** on Figure 4-1) that is in line with the vision for downtown North Battleford. It is recommended that the City continue to pursue initiatives to bring people to the site and to downtown more broadly, while retaining connections to adjacent downtown properties. Creating a comfortable pedestrian scale is paramount to the success of this site.

“

There is no single answer to any problem in the city. The solution comes from a multiplicity of answers.”

—Charles Montgomery, *Happy City: Transforming Our Lives Through Urban Design*

(3) Develop a new downtown theme.

- The City and the BID in partnership may wish to develop a theme of their own over time, but a suggested starting point would be one based upon the original 1913 theme for North Battleford: “*We’re Young but Ambitious*,” or one of the BID’s proposed themes of “*We’re Glad You’re Here*,” “*Your Destination Place*,” or “*Surprise Yourself*.”
- Potential modern themes could include notions of ambition, energy, and youth—referring not to the age of the city, but its citizens.
- Likewise, the idea of heritage/roots could be incorporated into this theme, carrying the sentiment that the young and ambitious citizens are proud of their history, aren’t going anywhere, and will ultimately be at the centre of the revitalization of (downtown) North Battleford. This vision is supported by demographic trends, which predict that the up-and-coming generations across North America are beginning to eschew suburban lifestyles and are migrating back to city centres and walkable core neighbourhoods,¹ a phenomenon that is already apparent in places as close to home as Saskatoon and Regina.
- A modern, youthful theme might look something like the following:

▪ <i>Young & Ambitious</i>	▪ <i>History Grows Here</i>
▪ <i>Ambition, History, Strength</i>	▪ <i>Character Builds Here</i>
▪ <i>History & Hustle</i>	▪ <i>Know Your Roots, Grow Your Future</i>
▪ <i>Roots & Ambition</i>	▪ <i>Up From the Roots</i>
▪ <i>Our Roots, Our Future</i>	▪ <i>Common Ground, Strong Future</i>
▪ <i>Our History, Our Future</i>	
▪ <i>Past & Prospect</i>	
- The theme is to be interwoven throughout the entire downtown fabric, not only physically and visually as elements of the environment, but also in the spirit and conceptual direction of future planning, economic development, and especially marketing and branding.

(4) Make increased foot traffic, especially after business hours, a top priority.

- This is a complex goal with many moving parts, and is influenced by a variety of conditions. It requires the cooperative effort of many different parties, who all make different decisions, but to the same end: to encourage walking within the downtown.
- The ten steps to achieving walkability are, put plainly, as follows:²
 - i. ***Put cars in their place.*** For the past half century, automobiles have been the dominant factor in deciding the shape and design of cities. Conceptually speaking, relegating vehicles to their proper role as a **servant** rather than a master of the streetscape, and beginning to plan for cities around **pedestrians** first and foremost, in all development decisions, is essential to cultivating a walkable downtown.
 - ii. ***Mix the uses.*** For people to choose to walk, the walk must serve a purpose. There must exist in the city centre a balance of different types of uses and activities within walking distance of one another—offices and employment mixed with retail and services, mixed with dining and entertainment, mixed with accommodations and residential. Zoning standards should be designed to encourage, rather than restrict, diversified land uses.
 - iii. ***Get the parking right.*** Parking policies have enormous impact on the life or death of downtowns. For downtowns to thrive, they must: “(1) charge the right price for on-street parking (i.e. market value); (2) make right-priced street parking popular by spending the meter revenue in the metered neighbourhoods; and (3) remove minimum parking requirements.” (Shoup 2011)

It is also understood that off-street parking lots, especially when adjacent to sidewalks, have a negative impact on comfort, safety,

¹ Nielsen, 2014: <http://www.nielsen.com/us/en/insights/news/2014/millennials-prefer-cities-to-suburbs-subways-to-driveways.html>

² Taken from: Jeff Speck, *Walkable City*, North Point Press, 2012.

and appearance of the streetscape. Conversely, on-street parking can have benefits relating to protection from the street, reduced traffic speed, enclosure, and sidewalk life.

The City should consider progressive parking changes—relating to pricing as well as the discouragement of off-street lots—as a method to increase both revenue and downtown vitality, **but only after or in conjunction with other substantial developments or initiatives proposed in this Plan.** Drivers will only tolerate more expensive or less available parking if it's very clearly worth it. Imposing such changes before there is an obvious “reason” to (such as a downtown arena) could instead have negative effects.

- iv. ***Let transit work.*** While more applicable to larger cities, it is still important for the City of North Battleford to integrate future public transit planning (including facility and network expansion and/or optimization) in all land use and development decisions. There are several bus stops within the downtown presently, and there is potential for the downtown to serve as a larger transit “hub” in the future.
- v. ***Protect the pedestrian.*** Some of the biggest impacts upon a comfortable and safe walking environment have to do with protective streetscape elements, but many also relate to road and lane widths, crossing distances, traffic speeds, and the presence of on-street parking to protect the sidewalk. See **Section 6.3 Streetscaping** for details on streetscape elements.
- vi. ***Welcome bikes.*** While bicycle facilities such as bike lanes are not included as a part of this Plan, it is important for the City of North Battleford to encourage safe bicycle use in the downtown and provide prominent and useful places for bicycle parking. Each trip made by bicycle is one not made by car, and a bicyclist is much more similar to a pedestrian in form and function than a motorist.
- vii. ***Shape the spaces.*** For a downtown street to be comfortable for walking, it needs a sense of enclosure and “cosiness,” with active

and fine-grained storefronts (i.e. narrow and numerous). Public spaces are only as good as their edges. Vacant sites, parking lots, or too much open/green space can cause would-be walkers to avoid the area. Active street frontage provides a benefit similar to “eyes-on-the-street.” See **Section 6.2 Architectural Controls** for detailed discussion of these characteristics.

- viii. ***Plant trees.*** Street trees may have the greatest “bang-for-buck” impact on improving street life out of any streetscape investment. Beyond the aesthetics and public health benefits, street trees provide shade, physical protection, and a visual cue to slow traffic. Trees also have direct economic benefits: Consumers stay longer, spend more, and return more frequently to shopping areas with street trees (Wolf 1998). An attractive tree network is included as part of the streetscaping strategy of this Plan. See **Section 6.3 Streetscaping**.
- ix. ***Make friendly and unique faces.*** Lively, high-activity streetscapes are made up of active, interesting, inviting, and transparent building façades. They avoid blank walls, repetition, hard edges, and imperviousness. See **Section 6.2 Architectural Controls**.
- x. ***Pick your winners.*** Investing in walkability cannot be city-wide. Luckily for North Battleford and this Plan, the final step in achieving walkability recommends focusing investments in street life mainly in the neighbourhood with the greatest potential for it: downtown.
 - The City and the BID are encouraged to consult the resources cited in this section (Speck, *Walkable City*, 2012; Shoup, *The High Cost of Free Parking*, 2011) as well as other works referenced in this Plan (see References section) for a more in-depth discussion of the evidence and theory behind improving downtown street life.

5 SAFETY

5.1 BACKGROUND

- The principles of **Crime Prevention Through Environmental Design (CPTED)** were employed in the safety review of downtown North Battleford. Field **safety audits** with community stakeholders were also used to practically assess the perceived safety of the downtown. This process encouraged a subjective interpretation of the environment from the perspective of its users combined with expert insight. The detailed safety analysis can be found in the companion Background Report.
- General impressions of conditions impacting safety were as follows:
 - civic areas felt old, forgotten, neglected;
 - too many surface parking lots;
 - number of empty stores is apparent;
 - not enough friendly faces and “eyes on the street”;
 - many areas unkempt;
 - sidewalk lighting seemed good or satisfactory—alleys, walkways and entrances only adequate;
 - there is lots of latent potential; and
 - north end seems less neglected than south end.
- Specific areas of concern that were identified during the safety review are indicated on Figure 5-1.

“ This is something everyone knows: A well-used city street is apt to be a safe street. A deserted city street is apt to be unsafe.”

—Jane Jacobs, *The Death and Life of Great American Cities*



Figure 5-1: Downtown Areas of Concern

5.2 SIGNIFICANT FINDINGS

The findings of the safety review are outlined in detail in the companion Background Report. They are broken down into the following nine categories:

- | | |
|---------------------------------|-------------------------------------|
| (1) Natural surveillance | (6) Movement predictors |
| (2) Access control | (7) Conflicting user groups |
| (3) Image/maintenance | (8) Connectivity and culture |
| (4) Territoriality | (9) Cohesion |
| (5) Activity support | |

5.3 RECOMMENDATIONS

Recommendations derived from the safety audit report (included in the companion Background Report) are categorized as follows. Note that several of the recommendations (indicated with “*”) will be directly addressed in this Action Plan.

(1) Safety and Future CPTED Opportunities

- That the RCMP work with the City of North Battleford and other stakeholders to apply the information in the RCMP’s report: “North Battleford 2015 Community Safety Audit: A look at crime distribution within the CPTED defined area to develop a Safe Growth strategy for the City.”
- That prolific offenders and high crime sites be reviewed for more detailed information.
- That a CPTED mini workshop be conducted for other community members and stakeholders if subsequent safety audits are undertaken.

- That a specific safety audit be conducted on Central Park or future development plans for Central Park, to identify specific issues and include the community and other stakeholders in a re-design of the park.
- That Central Park be redeveloped in consultation with community stakeholders. ♦
- That the fountain in Central Park be redeveloped or taken out immediately. ♦
- That an additional safety audit be conducted on H.D. McPhail Park to address the safety issues in greater detail and allow for inclusion of the community and other stakeholders.
- That Aboriginal groups, other segments of the population that have not been heard and other service providers be included in the development of a Safe Growth Strategy for the City.
- That the City work with businesses involved in the sale or serving of alcohol to ensure observing, fighting and other inappropriate activity is reduced around their establishments.
- That security cameras and convex mirrors be encouraged only in areas that prove to be difficult to manage any other way.

(2) Incentive Programs and Bylaws

- That a comprehensive review of properties in the study area be conducted by the bylaw officers to ensure buy in from all property owners.
- That the City and the BID research programs and/or projects that will help to reduce hiding places in the downtown e.g. reducing alcoves in back alleys.
- That the City and the BID consider a onetime cleanup of the downtown area back alleys and use it as an educational tool to encourage businesses to continue to clean and tidy back alleys.

♦ Recommendation addressed as a part of this Plan. See **Section 6—Revitalization Schematic**.

- That downtown building maintenance and repair incentive programs be reviewed and revised or new ones developed.
- That a gateway into the city be designed for the south end of the downtown area. The gateway should include signage, plantings and wayfinding. ♦
- That once the Downtown Plan is adopted and projects/programs have been implemented that the City and BID consider a marketing campaign, based on the decided theme and vision for downtown, that finishes the statement, **“I want to go downtown because...”**

(3) Signage, Beautification and Events

- That a gateway into the city be designed for the south end of the downtown area. The gateway should include signage, plantings and wayfinding. ♦
- That the City and the BID work together to establish an urban design plan for the downtown area that would include benches, landscaping, bike racks and other amenities. ♦
- That more festivals and community activities are encouraged for the downtown area.
- That the City encourage the development of a public art program for the downtown area. ♦
- That the City invest in the downtown’s infrastructure such as streets and sidewalks. ♦

(4) Parking

- That a policy be developed for updating the downtown parking lots so that they do not remain surface parking lots for an excessive amount of time. This would include landscape guidelines to ensure the surface parking lots contribute to the downtown visually and contribute to a positive image for the area. ♦
- That the City consider pay parking in at surface parking lots. ♦
- That the City lease out parking lots to businesses or organizations that are currently using the surface parking lots as their own.

♦ Recommendation addressed as a part of this Plan. See **Section 6—Revitalization Schematic**.



6 REVITALIZATION SCHEMATIC

6.1 ARCHITECTURAL CONTROLS

A comprehensive architectural review of downtown North Battleford was undertaken as a part of the Downtown Revitalization Action Plan. The full **Downtown Architectural Control District Guidelines Report** is attached as Appendix A. What follows is a brief summary of the guidelines.

(1) Selected Objectives of the Architectural Control Guidelines

- To support the City’s vision to preserve the past and embrace the future. (See discussion of possible themes in Section 4.3 (3).)
- To guide the creation of building improvements and new construction within the Downtown Architectural Control District (DACD) to “facilitate the development of a visually appealing downtown commercial district with strong consideration given to creating a positive, lasting impression and civic pride.” (*Objective 3.2.2.2, City of North Battleford Official Community Plan*)
- To utilize the elements of a building to promote safety within a pedestrian-friendly environment.
- To provide architectural guidance while allowing individual design freedom.
- To provide guidelines for renovations to existing buildings as well as for new construction.

(2) Character Zones

To better facilitate fine-grained architectural guidance, North Battleford’s downtown is divided into four character zones, exhibited on Figure 6-1.

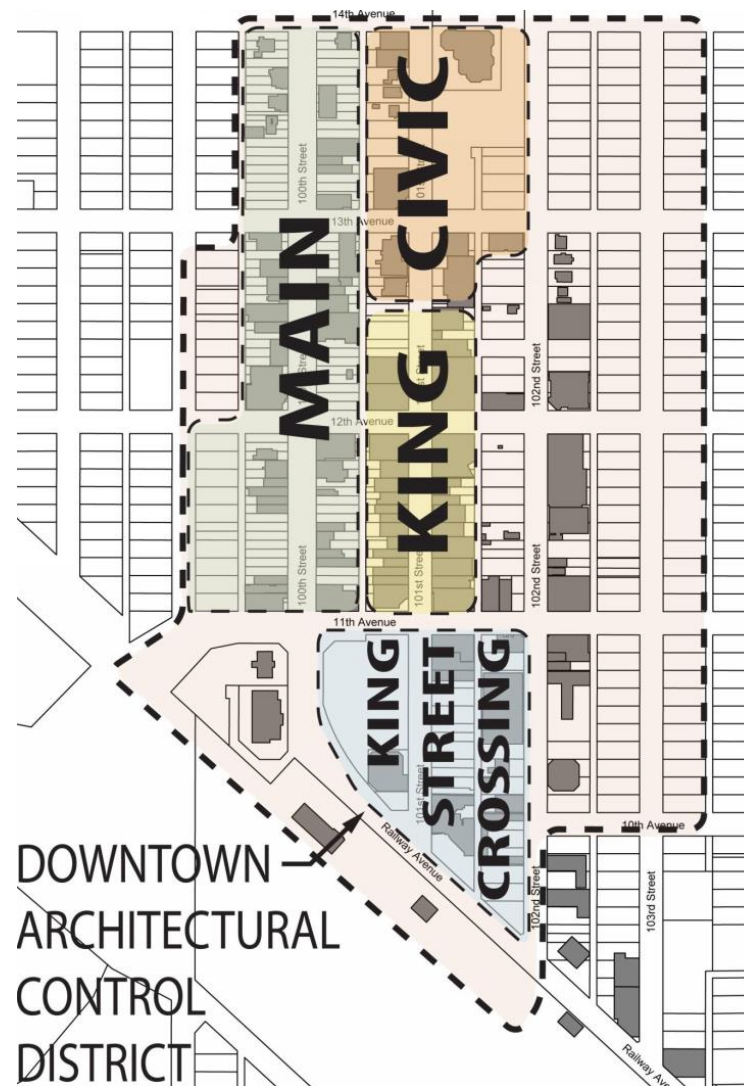


Figure 6-1: Downtown Character Zones

- i. **Main Street Character Zone**
- ii. **King Street Character Zone**
- iii. **Civic Character Zone**
- iv. **King Street Crossing Character Zone**

(3) Main Street Character Zone

The MSCZ is a major gateway into the city's core. It sets the first impression of downtown for visitors entering from the west and north. Improvements are intended to encourage visitors to stop and experience the city centre. Recommendations include:

- On-street parking retained
- Continuous street walls with 2 storeys or more
- Upper floors should be occupied by businesses and residential units to increase foot traffic in the zone
- Base level of glazed storefronts; well-lit and attractive
- High quality signage, both vehicle- and pedestrian-oriented
- High mix of uses, from professional services to retail and restaurants
- Sidewalk activation, including seating, is encouraged

(4) King Street Character Zone

The KSCZ is centered around the historic main commercial street of North Battleford: King Street, now 101st Street. It was traditionally a centre for public events such as parades, and though this status has declined in recent decades, it does still retain significant buildings and character. The guidelines applied to this character zone are intended to rejuvenate the historic plaza-like commercial nature of King Street. Recommendations include:

- Pedestrian orientation reinforced heavily throughout (continuous street walls, inviting façades, temporary street patios, etc)

- Façades to be oriented exclusively toward pedestrians, with large storefront windows, expressive lighting, attractive awnings/canopies and high quality, small-scale signage
- Businesses encouraged to spill out onto sidewalk to animate street
- Well-lit sidewalk (including from awnings and canopies) to further promote pedestrian life and greater sense of welcoming – especially for winter months

(5) Civic Character Zone

The CCZ is so named because it encompasses the area around North Battleford City Hall, the Library, Third Avenue United Church and Central Park. The guidelines identify this as an ideal location to develop a character zone based on a civic inspired architectural aesthetic. The area represents a transition from the urban character of the downtown to the single family dwelling character of residential North Battleford. In this way, the Civic Character Zone serves as the terminus of the King Street commercial area and presents a unified civic identity bringing together commercial and residential development. Recommendations include:

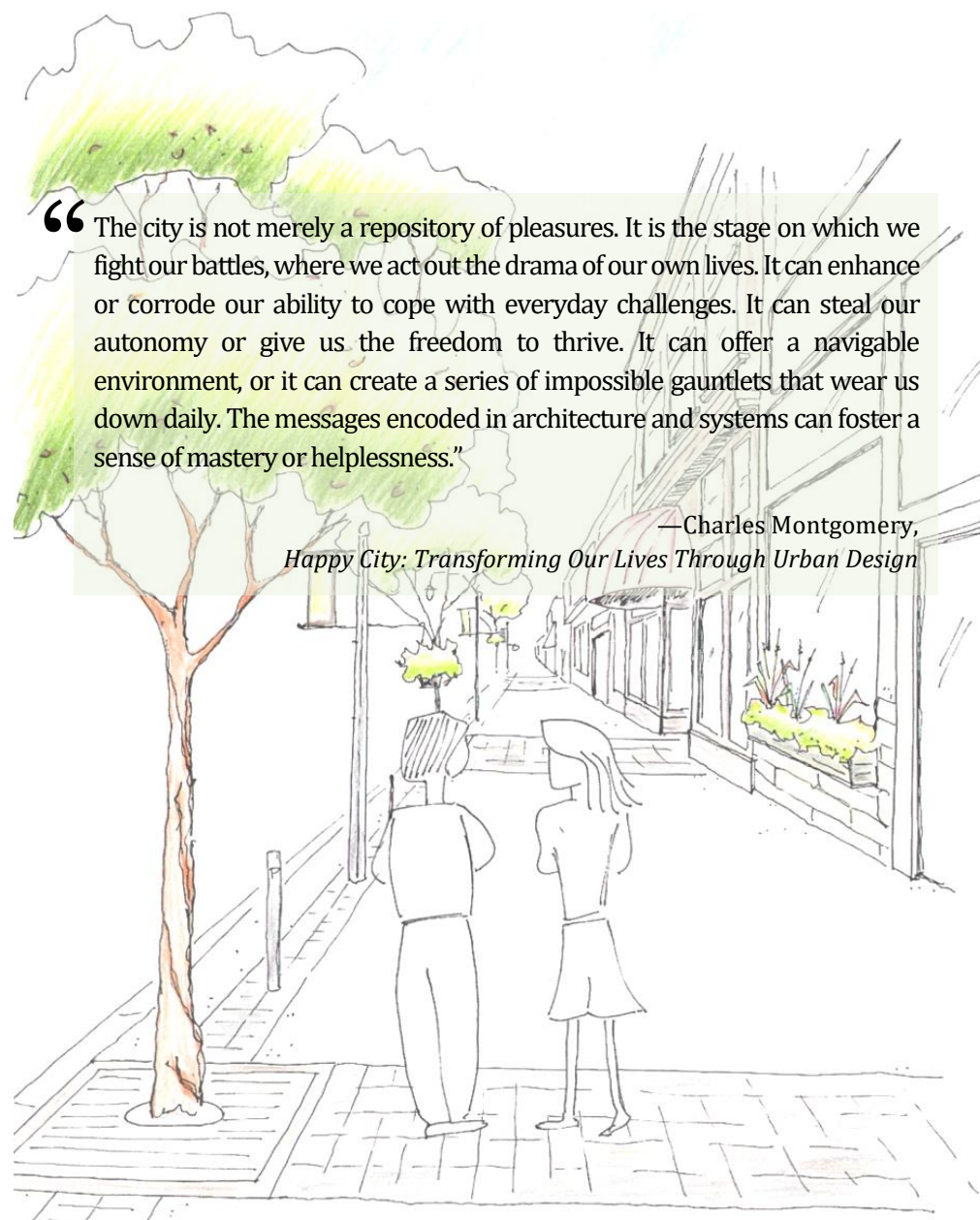
- Celebrate city pride through civic-inspired architecture (established by existing City Hall, Library) and other design elements
- Future buildings in zone to follow the existing character of masonry buildings built to property line
- Future buildings at corner of 101st Street and 13th Avenue to contain open plaza space in front of entrances to help demarcate the downtown, host potential events/gatherings, and provide a welcoming atmosphere in which citizens can engage with their local government and community

(6) King Street Crossing Character Zone

King Street Crossing/King Street Station is located at the historical southern entrance to downtown North Battleford. The area would have been the first experience of the city to early settlers; to the First Nations, North Battleford continues to be a place where various cultures meet and live together; and even in the modern era North Battleford continues this age old trend with many new Canadians choosing the city to start a new home. This zone still reflects a transport and mercantile hub from which the downtown has emerged. This peaceful gathering of cultures is a narrative that should be celebrated. Recommendations include:

- The high amount of surface parking serves to diminish the historic character of the area, but it also provides a blank canvas for the exciting possibilities of redevelopment
- A few buildings in the zone and adjacent area have high heritage interest, including the CN Rail Building, the Saskatchewan Provincial Court, and the Allen Sapp Gallery
- The SLGA liquor store is aesthetically appealing despite the lack of glazing, with quality landscaping and murals covering its blank walls
- The vision for the area is a transformation into a mercantile hub which celebrates the role of North Battleford as a meeting place of cultures and a regional trading destination

Detailed architectural control recommendations are outlined in the **Downtown Architectural Control District Guidelines Report** attached as Appendix A. The specific guidelines in that report are an indispensable part of the Downtown Plan.



“The city is not merely a repository of pleasures. It is the stage on which we fight our battles, where we act out the drama of our own lives. It can enhance or corrode our ability to cope with everyday challenges. It can steal our autonomy or give us the freedom to thrive. It can offer a navigable environment, or it can create a series of impossible gauntlets that wear us down daily. The messages encoded in architecture and systems can foster a sense of mastery or helplessness.”

—Charles Montgomery,
Happy City: Transforming Our Lives Through Urban Design

6.2 PUBLIC REALM FRAMEWORK

The public realm makes up all publicly accessible spaces, including streets, parks, open green-spaces, civic buildings and facilities. The quality of spaces within the public realm are integral in the creation of successful and vibrant environments where people want to live, work, and play.

As the public realm forms the majority of the visible aspects of public spaces, revitalizing these spaces is central to the revitalization of the urban environment. The purpose of this framework is to define a coherent, and appealing vision for the public realm in order to revitalize the quality and character of the downtown. It will provide guidance and inform decision making with regard to public space improvement strategies.

Specific components of the public realm include parks and open spaces, pedestrian connections, parking, civic and cultural sites, public art and streetscapes. The primary focus of this section will be streetscapes.

(1) Analysis of Current Conditions

A comprehensive analysis of the downtown area was undertaken to evaluate current conditions and gain an understanding of the opportunities and constraints facing the study area. Refer to Figure 6-2: Downtown Analysis Plan. For additional information specific to building conditions, refer to the **Downtown Architectural Control District Guidelines Report** attached as Appendix A.

Large blocks of empty space occur throughout the study area. Lots not occupied by buildings are primarily used as parking; some parking is formalized (paved or clearly organized with stall markers/parking rails), but many empty lots have become poorly organized and poorly maintained temporary parking areas.

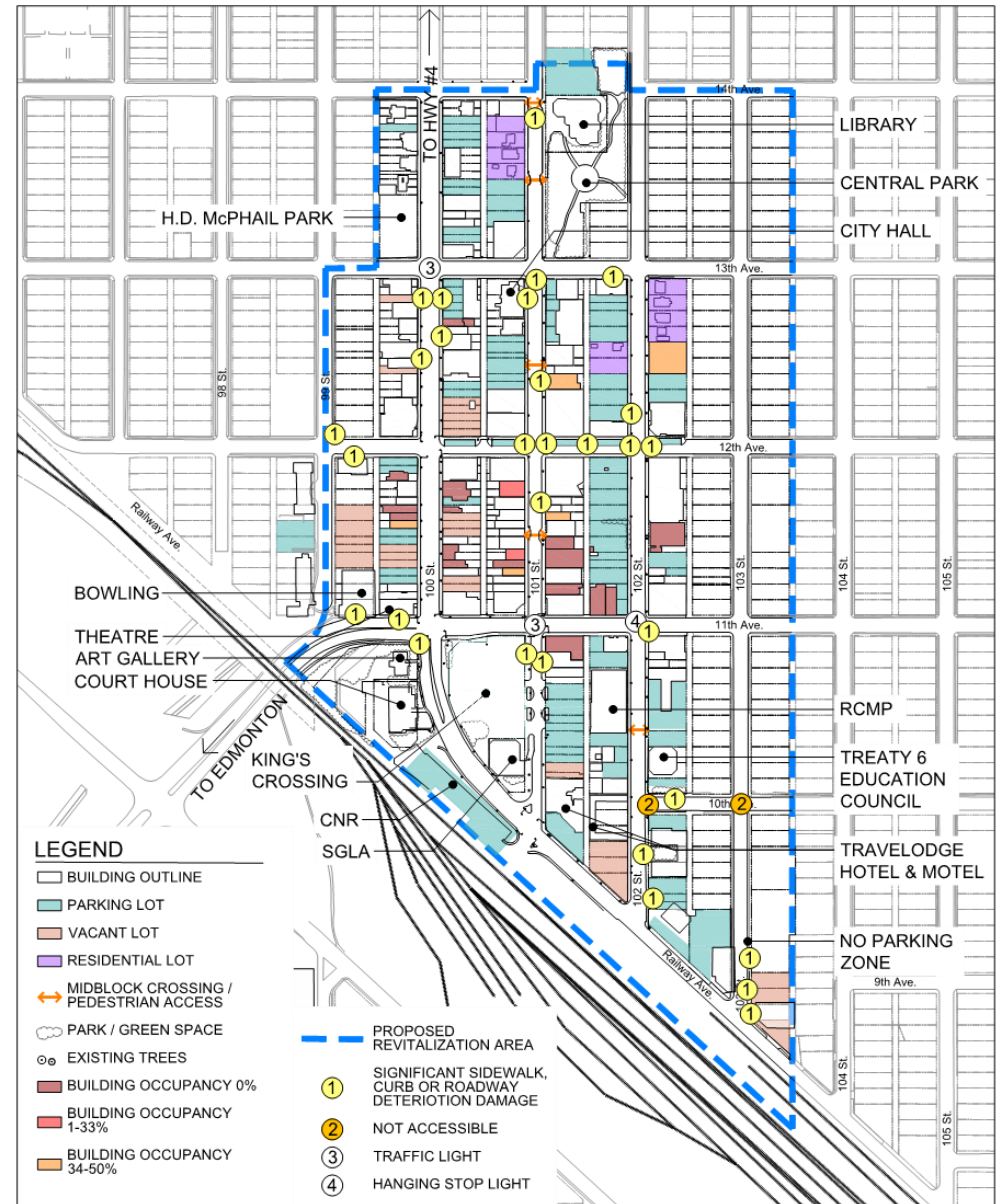


Figure 6-2: Downtown Analysis Plan

Pedestrian walkways that extend from back of curb to building faces are wide and generously scaled for the pedestrian zone. Buildings within the study area generally situated near the front of properties and create a uniform walk width and consistent building frontage. In areas where walks are separated from the curb by a boulevard, boulevards have largely been filled with concrete or asphalt. Near the north end of the area, where a number of businesses are converted residential properties, buildings are set back and front yards are used for parking. Boulevards in these areas are planted with turf and mature street trees. Mid-block pedestrian crossings exist on most blocks of 101 Street, but not on other streets or avenues.

Concrete walks range from fair to poor condition. Cracking, heaving, significant spalling and general degradation to the point of complete failure has occurred in some areas. Conditions are causing potential safety issue in areas of worst disrepair. Walkway ramps occur at most intersections, but some intersections do not have ramps, limiting their appropriateness for users with mobility restrictions.

Existing accent paving (unit paving, coloured concrete) at intersections is in poor condition; spalling, heaving and inconsistent patching detract from the intended wayfinding and aesthetic purposes. Yellow painted concrete curb markings do not clearly indicate parking areas and are confusing to motorists and of limited value, based on vehicle parking patterns observed during analysis of current conditions.

Throughout the study area, exists a typically poorly maintained zone between the back of city walk and front of building, usually ranging in width from 300mm to 450mm depth. This space is typically filled with concrete, asphalt or gravel, and has experienced differential setting from the walkway, creating trip hazards and accessibility issues at building entrances. Weed growth and trash accumulation is typical in this space.

Street tree plantings consist of new plantings within boulevards and new bulbs at the south end of 100 and 101 Street, and existing mature street

trees in planted boulevards at northern extents of study area. Sparse nodes of trees exist between these areas, but generally the study area is bare of vegetation. There are also nodes of mixed deciduous and coniferous shrub foundation planting where buildings are set back from property lines, primarily at feature buildings such as City Hall, the Credit Union building and similar buildings.

Very little site furniture exists within the study area. Benches and trash receptacles exist in the landscape around the SGLA building and in a few scattered locations; there is no significant occurrence of bike racks. Street lights vary; light standards and luminaires with different styles, finishes and colours exist, and the styles and colours are inconsistent..

The RCMP building on 102 Street has no frontage facing the street; the main entrance to the building is accessed from the lane between 102 and 101 Streets. The building facade along 102 Street consists of brick wall, garage doors and staff-only entrances, creating an inhospitable pedestrian zone This major facility has functionally “turned its back” on the street.

CNR building and grounds are currently vacant and separated from the downtown core by Railway Avenue, pronounced grade changes, and vegetation. The grounds are currently used as informal parking. The CNR property is well-connected to the adjacent Court House to the north west and has two points of vehicle access from Railway Avenue.

(2) Streetscape Materials and Design Vocabulary

Key to any cohesive design is a unified set of materials and styles that forms a design vocabulary; a cohesive design vocabulary establishes a downtown’s unique identity and sets it apart from other areas of the urban environment.

Materials, site furnishings and other amenities shown herein are illustrative only. Product selections and details should be determined on a case-by-case basis for each improvement project.

Benches are a critical pedestrian amenity. Benches should be placed at regular intervals throughout the downtown, and in greater density at plazas, event spaces, parks and other areas where pedestrians gather. Benches should be metal and fixed in place to ensure durability. A bench such as the *RB-28* from Victor Stanley or equivalent has a clean, contemporary style that will suit the intended style of the downtown. Slightly more contemporary style, such as the *Towne Square* bench from Landscape Forms or equivalent, may be appropriate in the Civic Character Zone.



Trash and recycling receptacles placed at regular and predictable intervals are important to keep streetscapes clean. Materials and styles and colours should coordinate with benches; the *DYN Series* from Victor Stanley, or equivalent, is recommended.



Bike racks are key pieces of infrastructure for cyclists and encourage non-motorized trips into the downtown core, reducing vehicle congestion and promoting an active lifestyle. Locate in areas where bikes will not impede pedestrian traffic. A single point of attachment bike rack is recommended to reduce the impact on snow clearing and walkway sweeping.

Bollards provide both visual cues and physical separation of the pedestrian and vehicle realms. They should be used sparingly, but play an important role in both protecting pedestrians and providing highly visible markers where pedestrian/vehicle conflicts are at their highest. Locate primarily at pedestrian crossings. Simple and robust designs are important, and for maximum visibility illuminated (solar or wired) or reflective bollards are recommended: example shown is *Annapolis* by Landscape Forms.



Parking poles, pay stations, and parking signage are essential vehicle infrastructure that resides within the pedestrian realm. To avoid visual clutter, locate parking poles within the paving accent strip, and used sparingly between parking stalls. Where appropriate, use bike racks in place of parking poles to both indicate parking stalls and provide bike storage. Pay stations should be strategically located close to pedestrian destinations and at walkway bulbs where they will not interrupt pedestrian traffic flow, and signage (indicating parking restrictions, pay period requirements, and any other information) should be incorporated onto pay stations where possible. Information signage can be added to parking poles to indicate special parking uses (such as accessible parking stalls).



Tree grates protect the relatively small rooting zone for street trees from trampling, but can also be customized to suit each Character Zone, with patterns and phrases designed to reflect local flavour. Tree grates can also become public art pieces, and can be used as a public-engagement tool: the public can be engaged to select designs, work with local artists to develop unique design, or even be tasked to create grate patterns through design competitions.



Light standards and accessories have a large impact on how public space is perceived because of their visual prominence within the streetscape. In an ideal streetscape, all light standards (both pedestrian and vehicle lighting) and traffic control posts would share consistent materiality, colour and style. Existing light standards would be replaced with updated products, and pedestrian lighting added where pedestrian lights are needed.

However, given the existing relationship with SaskPower and the capital costs and ongoing maintenance implications of replacing all existing light standards with character-related materials, a phased approach or partial implementation scheme may be more appropriate. In some cases, existing light standards may be incorporated into new streetscape designs; additional standards can be provided at a scale and interval to provide pedestrian lighting and ornamentation such as hanging planters and banners.



Paving materials have the potential to both unify all areas and identify the transition from one Character Zone to the next. Paving also provided visual separation between pedestrian and vehicular realm. Roadways should remain asphalt, and pedestrian areas should remain concrete, but with significant areas unit paving to provide accents, define pedestrian zones, and be designed in different patterns depending on Character Zones.

The majority of the walkways in Character Zones that are less pedestrian-focussed should be concrete. In pedestrian-focussed areas, concrete can be replaced with unit paving, and significant areas of unit paving accents provide pedestrian-scale patterns.

To unify the revitalized urban core, materials and colours should remain consistent, but some elements and patterns should vary in order to create individual identities for each of the specific Character Zones.

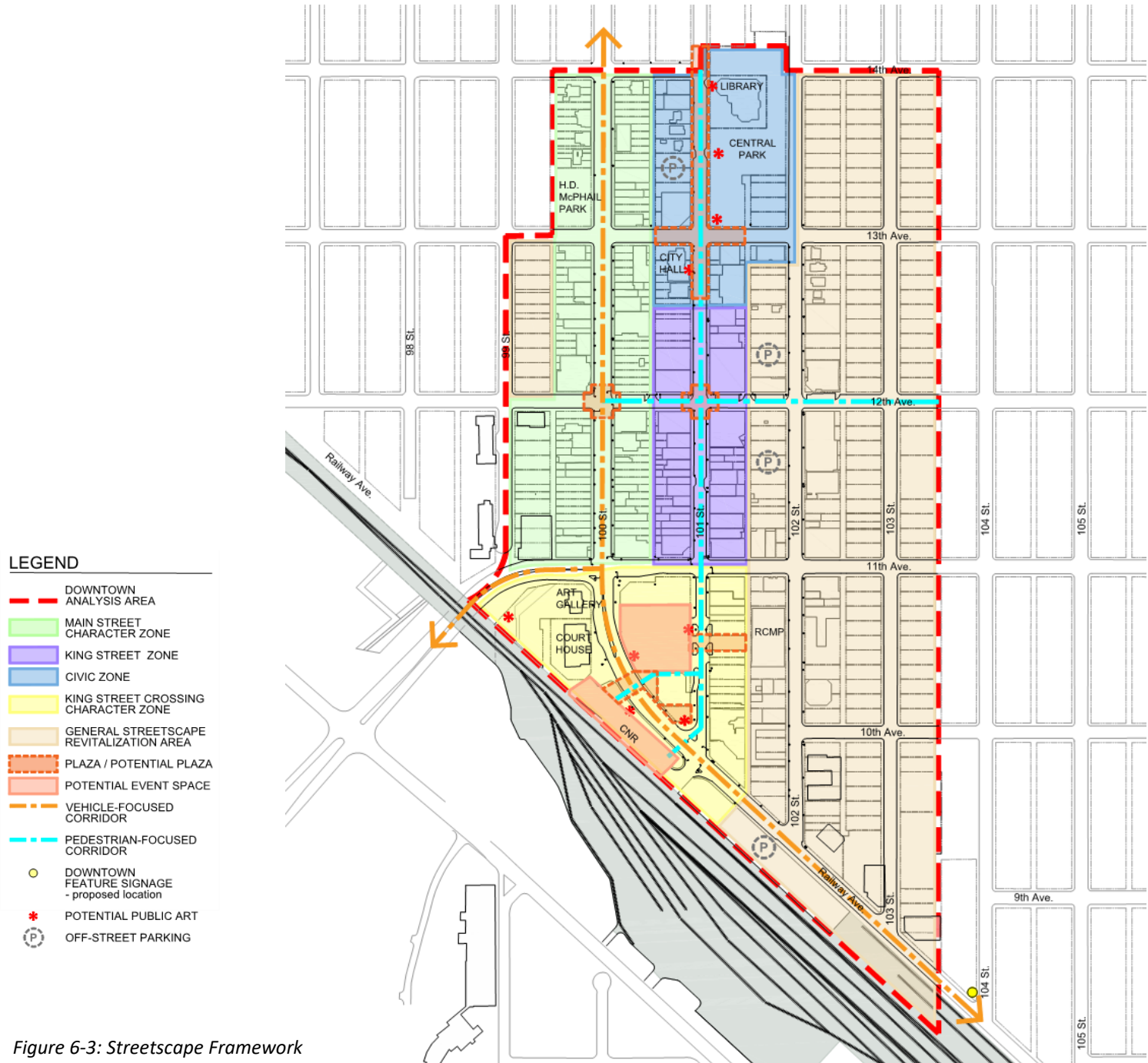


Figure 6-3: Streetscape Framework

(3) Streetscape Character Framework

The quality and character of a downtown’s urban environment is defined by the streetscape strategy. Streets comprise the most widespread and significant public land area, and include the majority of the travel routes within the public realm. As such, streets have the most significant effect on how people experience and perceive public space within the downtown and the city as a whole.

Moving people out of their cars and encouraging them to move throughout the downtown by walking is critical to a successful downtown, and successful streetscape design strives to find a balance to suit the needs of all pedestrian, bicycle, and vehicular users, and how spaces are used for civic functions, cultural needs, and other public land uses. Streetscapes include more than just roadway design: the quality and relationship between all elements including walkways, roads, lighting, site furniture, trees and other plantings, signage, together with the character and quality of the buildings that form the vertical walls of the streetscape, create the character of the streetscape.

The streetscape character framework outlines critical objectives and provides guidance for the design of the pedestrian environment, and works in concert with the architectural controls in previous sections to define the relationship of the buildings to the street to support intended land uses and create streetscape character.

(4) General Downtown Streetscape Revitalization

General streetscape improvements throughout the downtown area are proposed to establish a unique and coherent downtown identity. Refer to Figure 6-3: Streetscape Framework on the previous page for the extent of each character zone, including areas to be treated with general streetscape revitalization strategies.

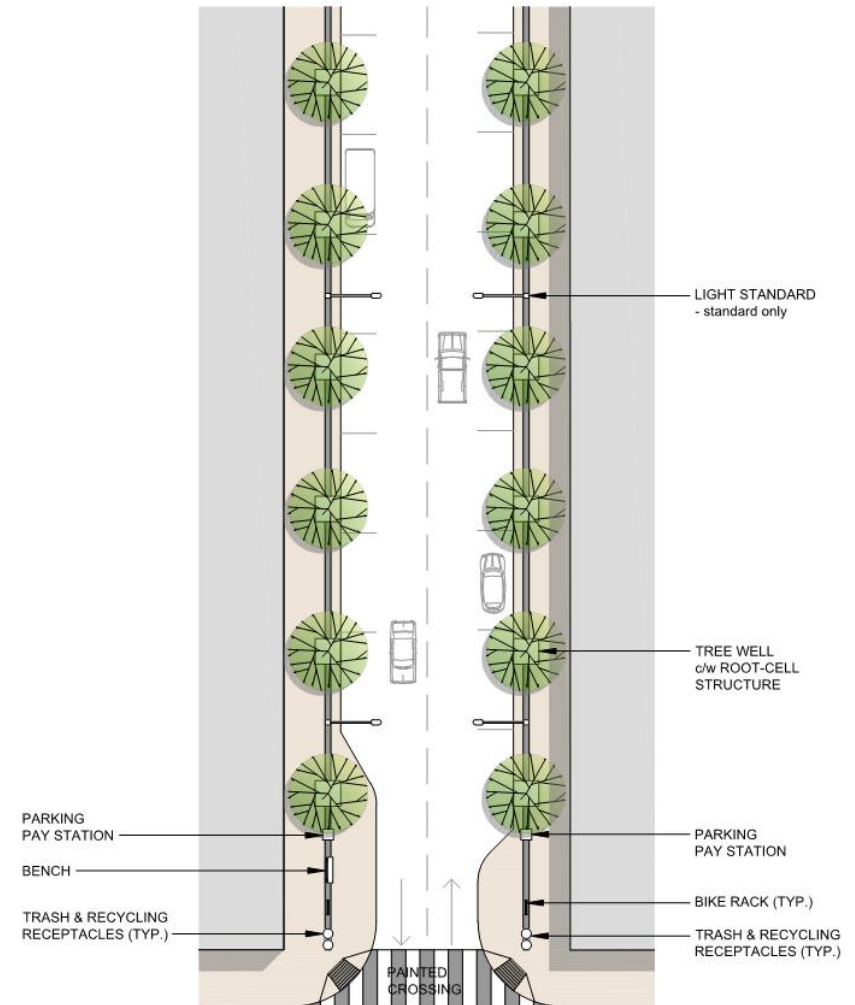
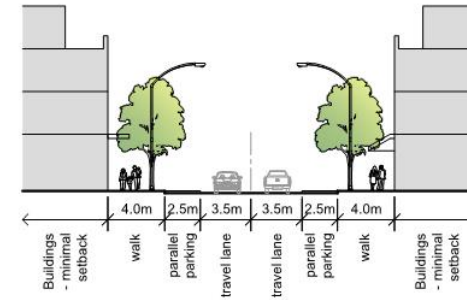
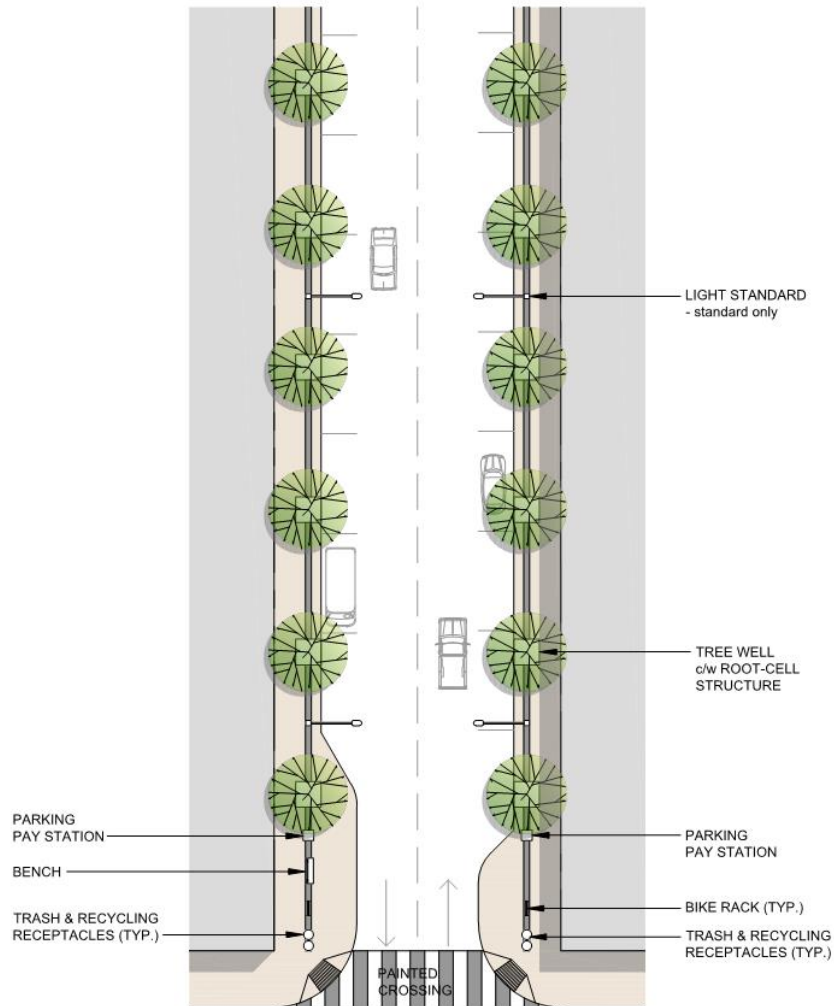
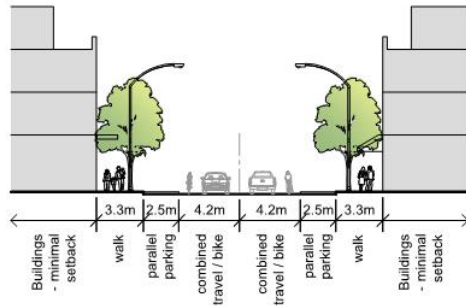


Figure 6-4: General Streetscape Model #1



General Streetscape Concept Rendering

Figure 6-5: General Streetscape Model #2

In addition to general streetscape enhancements throughout the downtown area, four distinct character zones are proposed: Main Street, King Street, Civic, and King Street Crossing. Each character zone is described in detail and illustrated using prototypical details, sections and images on the following pages. Elements shown below are illustrative only and to be used to guide future design and development; each street, intersection and open space area must be analyzed and detailed individually to ensure the streetscape responds to the unique characteristics for each space.

General objectives that pertain to streetscapes in all Character Zones, as illustrated in Figures 6-4 and 6-5 (General Streetscape Models #1 and #2) include:

- **Street trees and plantings:** Vegetation softens the hard edges and improves the visual qualities of the urban environment. Trees provide cooling effects by casting shade and through transpiration, and provide windbreaks. Tree spacing varies within each character zone, but regular increments of no more than 9.0 metres are proposed in areas of general streetscape enhancements.

Trees should be planted with appropriate volumes of non-compacted soils. To create ideal growing conditions, simplify tree/utility conflicts and create the potential to be used as part of a stormwater mitigation strategy, tree wells should be designed to include structural root-cells and include irrigation.

- **Walkways and walkway bulbs:** Walkways should be designed to be wide, clear, accessible and adequately lit to create a comfortable and safe environment for all users. Details, patterns and materials should be consistent throughout the downtown (with variations in each Character Zone) and be designed to relate to public spaces.

Wherever possible, walkway bulbs should be included at intersections and mid-block crossings to strengthen the pedestrian

realm, define on-street parking areas, reduce crossing widths, and create generous space for features including public art, benches and other site furniture, and functional elements like poster boards and parking pay stations.

- **Pedestrian facilities:** Walkability is paramount, and considerations for well-design pedestrian spaces are critical. Walkway widths should be generous and remain uncluttered with unnecessary utility infrastructure and furniture. Street crossings should always be designed with ramps and dropped curbs that meet accessibility standards, and clearly marked with line painting or alternate paving materials to indicate pedestrian priority. High quality furnishings including benches, trash and recycling receptacles should be placed at regular intervals for pedestrian convenience and comfort.
- **Patios:** Sidewalk patios are encouraged on several streets, particularly those identified with pedestrian priorities. Pedestrian routes can be maintained beside patios that occupy the entire sidewalk width by creating walkway bulbs in place of on-street parking.
- **Utility strip:** This narrow strip of accent paving parallel to each curb face separates and strengthens the pedestrian zone from vehicular areas, and unifies the downtown character by connecting to all trees. Shallow utilities, including power for light standards, can be buried below this band, simplifying future access and maintenance.
- **On-street parking:** Existing parallel parking is retained in most areas, but defined by simple parking posts that may also double as bike racks, particularly near intersections. Parking meters are discouraged; rather parking pay stations within walkway bulbs will centralize and simplify parking payment. On-street parking should encourage short-term use.

- **Off-street parking:** The eventual goal is to fill all street-frontages with vibrant and active businesses/mixed-use developments, particularly within pedestrian-focussed corridors, so off-street parking should not be permitted except where indicated on conceptual drawings. However, surface parking is also a viable temporary use until frontages are filled up. Temporary surface parking should be sufficiently screened from pedestrian areas, but should remain open and with appropriate sight lines to remain safe and comfortable for all users.

It is also recognized that some surface parking is required to support local businesses, and particularly for large community events. Parking lot entrances for businesses are not to interrupt building frontages; access should be via shared rear lanes. Permanent off-street parking should be screened from pedestrian areas, and ideally contained within interior service courtyards. Parking lots should also be planted to create vegetation canopy covers to reduce the urban heat-island effect. Where possible, plantings should be incorporated into green-infrastructure projects to reduce irrigation needs and reduce pressures on the environment and local storm water facilities.

- **Bike infrastructure:** Though not identified as a priority for this report, simple improvements to bike infrastructure can create significant improvements for cyclists. Bike racks are proposed within walkway bulbs and at other key areas where cyclists require bike storage. Shared bike/vehicle lanes can be created by widening right travel lanes. The only significant difference between the two General Streetscape Models (Figures 6-4 and 6-5) are the relative widths of the travel lanes and walkways. Model #1 (Figure 6-4) includes a narrower travel lane and generous walkway, emphasizing the priority of the pedestrian realm. Model #2 (Figure 6-5) includes a narrower walkway, but a wider travel lane for combined vehicle/bike travel.

- **Street lights:** Street lights should be upgraded to dark-sky compliant energy efficient (LED) luminaires to improve colour rendering for users, reduce energy consumption, minimize light pollution. Light standard styles and colours should be unified, and include the ability to add banners for City branding and to highlight events, to add hanging planters to add colour and improve visual characteristic particularly within pedestrian areas, and to include pedestrian-scale lighting where applicable improve pedestrian comfort and to highlight the priority of pedestrian zones. Ideally, the colours and style of traffic control lights and other traffic infrastructure would also match selected light standards. Given the increase of resources required for upgrading and maintaining light standards, it may be prudent to incorporate existing light standards into the improved streetscaping strategy as much as possible.
- **Public art:** Opportunities for public art should be explored and encouraged throughout the downtown. Wherever possible, incorporated public art into building and site designs for all new development and significant building renovation projects.
- **Avoid clutter:** Avoid unnecessary visual clutter and obstructions within the pedestrian realm, and integrate site furnishings, lighting, signage and other functional elements within a cohesive design vocabulary.

(5) Main Street Character Zone

Characteristics:

- Tree and shrub plantings condensed into nodes at intersections and mid-block areas, designed at an appropriate scale for vehicular users, and to permit direct sight-lines to retail/commercial storefronts.
- Accent paving at walkway bulbs to strengthen priority at crossings, and mid-block plantings to highlight pedestrian facilities (benches, other site furniture).
- Maximum walkway widths to encourage high pedestrian volumes; site furnishings located at regular intervals for pedestrian comfort and convenience.
- Four travel lanes and parallel on-street parking.
- Buildings with minimal, consistently placed setbacks to establish a unified storefront wall; awnings and other pedestrian amenities encouraged; refer to Architectural Controls in Appendix A for other architectural recommendations.
- Patios and other commercial spill-out activity permitted.
- Street light standards to include banners for downtown branding.

Roles and Functions:

- Serves as the main north/south vehicular corridor to and through the downtown core; designed to accommodate high traffic flows yet maintain a quality pedestrian zone.
- Street-oriented retail/commercial corridor with pedestrian and vehicle priorities.
- Mixed use buildings, with retail/commercial storefronts and residential/office space on upper floors.



Main Street Character Zone Concept Rendering

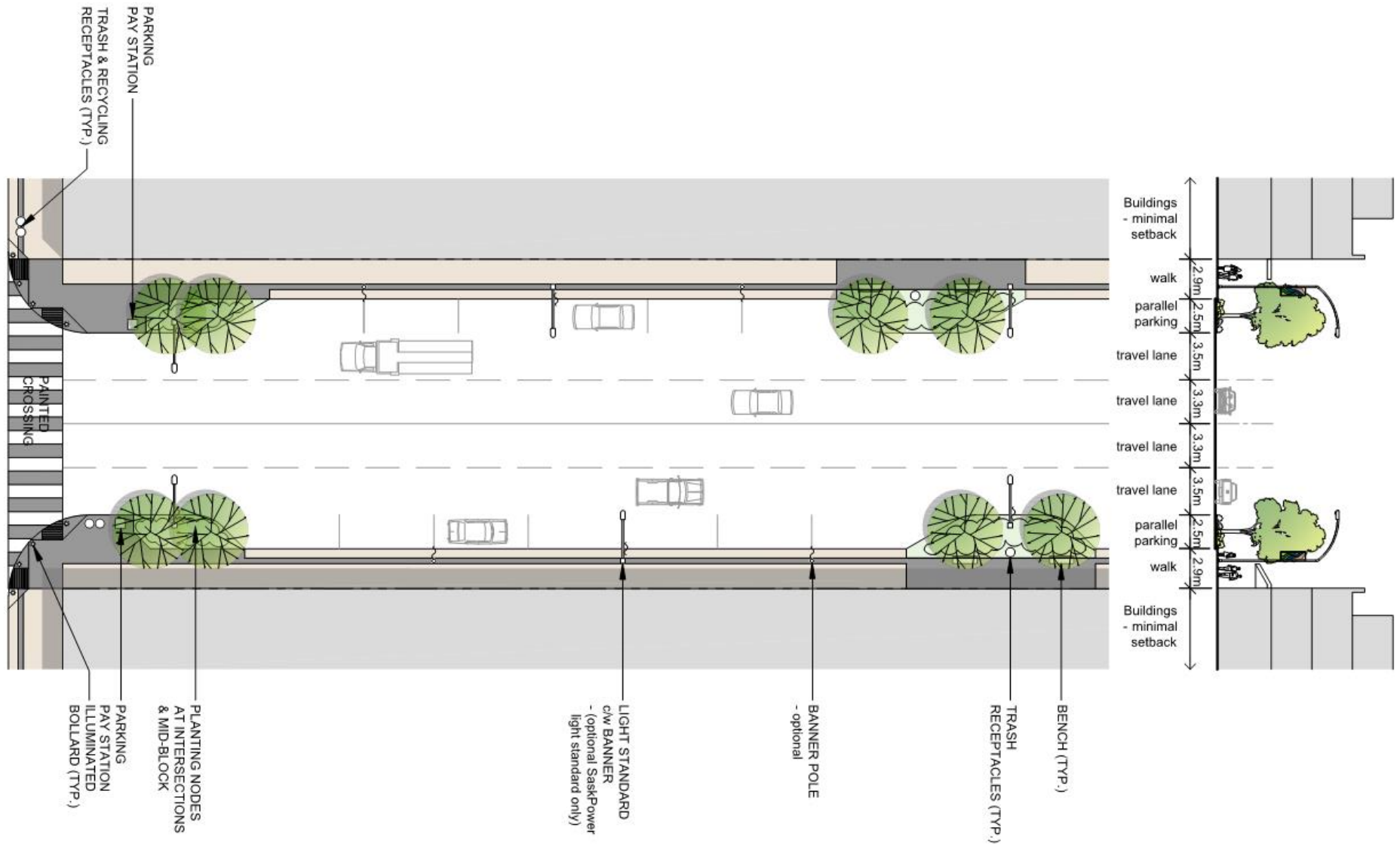


Figure 6-6: Main Street Model
 Typical proposed plan view and cross section of Main Street (100th Street)

(6) King Street Character Zone

Characteristics:

- Tree plantings at regular and close-spaced intervals to encourage a continuous canopy over walkways. Shrub plantings at nodes near intersections and mid-block crossings to emphasize pedestrian priority.
- Accent paving at walkway bulbs to strengthen priority at crossings and to highlight pedestrian facilities (benches, other site furniture).
- Maximum walkway widths to encourage high pedestrian volumes; site furnishings located at frequent intervals for pedestrian comfort and convenience.
- Two travel lanes and parallel on-street parking.
- Walkway accents at regular intervals, aligned with tree planting, to create rhythm and patterns within the pedestrian realm.
- Illuminated (solar or hardwired) or reflective bollards at pedestrian crossings to highlight pedestrian infrastructure and improve safety.
- Buildings with minimal, consistently placed setbacks to establish a unified storefront wall; awnings and other pedestrian amenities encouraged; refer to Architectural Controls for other architectural recommendations.
- Patios and other commercial spill-out activity permitted.
- Street light standards to include banners for downtown branding, pedestrian lights and hanging planters.

Roles and Functions:

- Serves as the main north/south pedestrian-focused corridor to and through the downtown core; designed to accommodate high pedestrian flows and slower vehicle speeds
- Street-oriented retail/commercial corridor with pedestrian priorities.
- Mixed use buildings, with retail/commercial storefronts and residential/office space on upper floors.



King Street Character Zone Concept Rendering

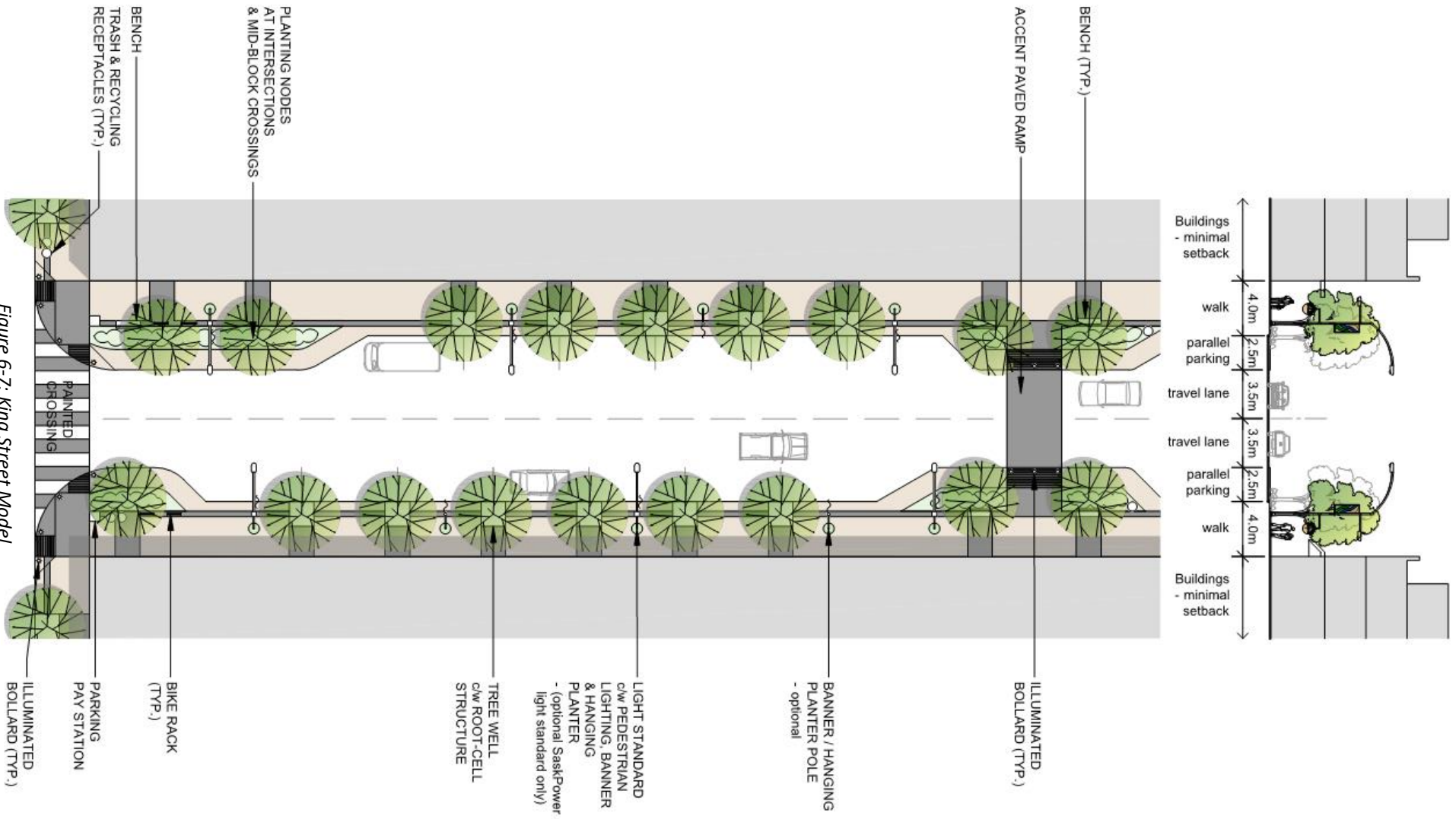


Figure 6-7: King Street Model
 Typical proposed plan view and cross section of King Street (101st Street)



Sidewalk Patio Concept Rendering

(7) Civic Character Zone

This unique zone sits at the north extent of King Street, and shares many characteristics with the King Street Character Zone, but draws its unique identity from the civic buildings and public open spaces within the zone.

- Civic buildings include the Library, City Hall and Central Park, a prominent green space flanking the north end of the downtown core, connected by large plaza spaces with a pedestrian focus.
- Tree plantings at regular and close-spaced intervals, where building setbacks are minimal, to encourage a continuous canopy over walkways. Shrub plantings at nodes near intersections and mid-block crossings to emphasize pedestrian priority.
- Accent paving at walkway bulbs to strengthen priority at crossings and to highlight pedestrian facilities (benches, other site furniture).
- Maximum walkway widths to encourage high pedestrian volumes; site furnishings located at frequent intervals for pedestrian comfort and convenience.
- Two travel lanes and parallel on-street parking.
- Walkway accents at regular intervals, aligned with tree planting, to create rhythm and patterns within the pedestrian realm.
- Illuminated (solar or hardwired) or reflective bollards at pedestrian crossings to highlight pedestrian infrastructure and improve safety.
- With the exception of streetscapes adjacent to Central Park, buildings with minimal, consistently placed setbacks to establish a unified storefront wall; awnings and other pedestrian amenities encouraged; refer to Architectural Controls for other architectural recommendations.
- Patios and other commercial spill-out activity permitted.
- Street light standards to include banners for downtown branding, pedestrian lights and hanging planters.
- Ability to close King Street within this zone to create substantial event space, combining both on-street space and Central Park for larger events/festivals.
- Highly visible public art installations.

Roles and Functions:

- Serves as the main north gateway and public gathering node at the north extent of the pedestrian-focused King Street Character Zone. Designed to accommodate high pedestrian flows and provide event space, and to have strong pedestrian connections to both the King Street Character Zone and to the Main Street Character Zone where the two zones connect along 13th Avenue.
- Also serves as the public gathering node at the north extent of the pedestrian-focused King Street Character Zone. Designed to accommodate high pedestrian flows and provide event space.
- Street-oriented retail/commercial corridor with pedestrian priorities.
- Mixed use buildings, with office/retail storefronts and residential/office space on upper floors.

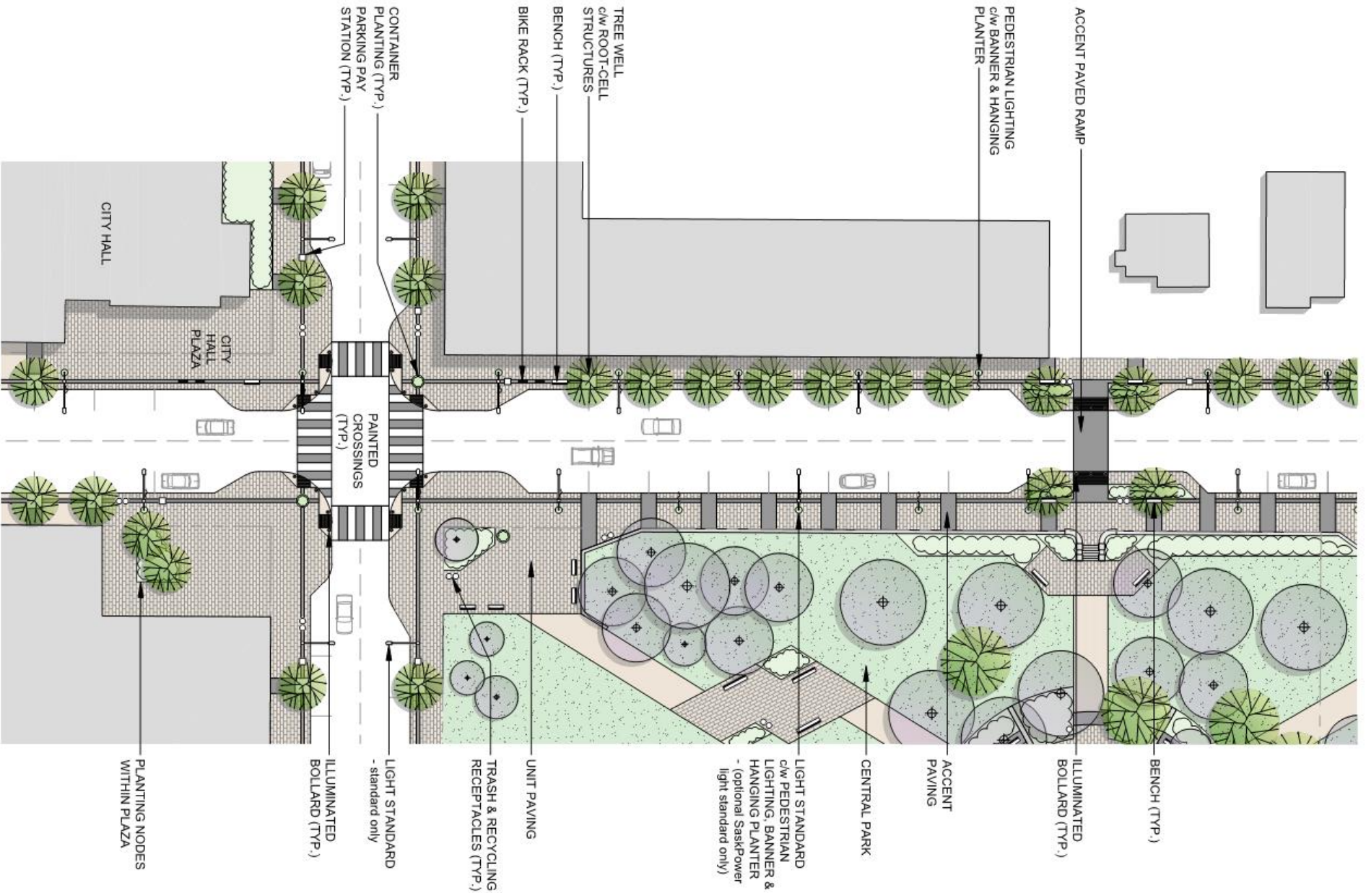


Figure 6-12: Plaza Model

Typical proposed plan view of King Street (101st Street) & 14th Avenue intersection

(8) King Street Crossing Character Zone

Characteristics:

- Tree plantings at regular and close-spaced intervals on north side of Railway Avenue and along King Street to encourage a continuous canopy over walkways. Shrub and understory plantings on south side of Railway Avenue to provide screening and a park-like edge to the south end of downtown.
- Maximum walkway widths to encourage high pedestrian volumes; site furnishings on King Street located at regular intervals for pedestrian comfort and convenience. Site furnishings on Railway Avenue located at intersections and plazas, and limited to trash receptacles.
- High quality urban event spaces, complete with pedestrian facilities, located on the grounds of the CNR building and the former King Street Station masterplan, located directly north of the CNR building. Event spaces to be linked with strong and safe pedestrian connections.
- Four travel lanes, no on-street parking.
- Walkway accents at regular intervals, aligned with tree planting, to create rhythm and patterns within the pedestrian realm.
- On north side of Railway Avenue and King Street: buildings with minimal, consistently placed setbacks to establish a unified storefront wall; awnings and other pedestrian amenities encouraged; on south side of Railway Avenue: building setbacks to permit high-quality landscape

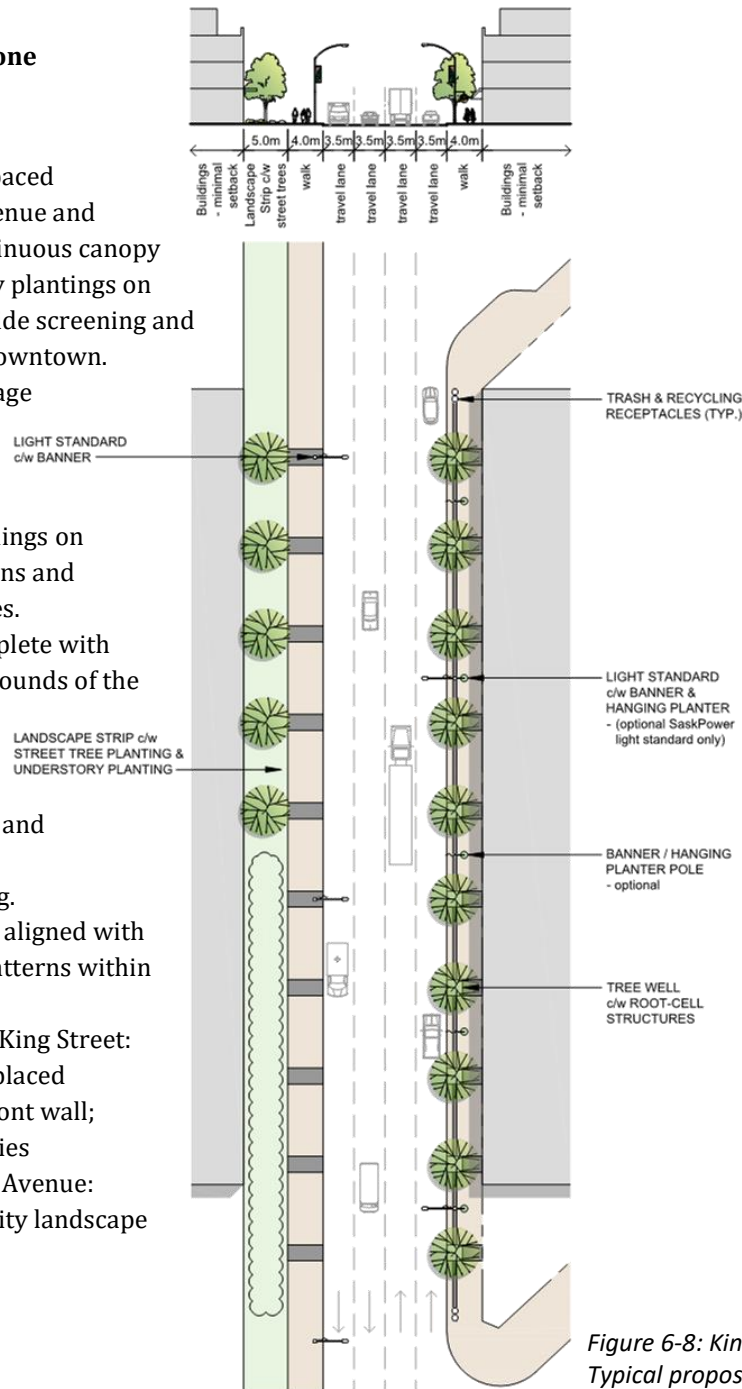


Figure 6-8: King Street Crossing Model
Typical proposed plan view and cross section through Railway Avenue

strip. Refer to Architectural Controls for other architectural recommendations.

- Street light standards on Railway Avenue to include banners for downtown branding and hanging planters; to also include pedestrian lighting on King Street.

Roles and Functions:

- Serves as the main south gateway to downtown core; designed to accommodate high pedestrian flows along King Street, high vehicle traffic along Railway Avenue and Main Street, and strong connections to both the King Street and Main Street Character Zones.
- Serves as the public gathering node at the south extent of the pedestrian-focused King Street Character Zone. Designed to accommodate high pedestrian flows and provide event space.
- Facilitates a safe pedestrian connection across Railway Avenue between the CNR building and the downtown core to the north.
- Prominent event spaces for both regular occurring events (Farmer's Market) or annual festivals.
- Mixed use buildings, with retail/commercial storefronts and office space on upper floors.
- Highly visible public art installations.

(9) Pedestrian Links and Corridors

This is a unique zone that provides an east/west link to connect the Main Street and King Street Character Zones to each other and to other areas of the revitalized downtown. Because it travels across several zones its aesthetic characteristics vary along its length; however, it remains a pedestrian focused parking mall, similar to its current function.

Characteristics:

- Tree plantings at regular and close-spaced intervals to encourage a continuous canopy over walkways. Shrub plantings at nodes near intersections and walkway bulbs to emphasize pedestrian priority.
- Raised crossings and unique pavement materials at walkway crossings to strengthen priority.
- Maximum walkway widths to encourage high pedestrian volumes; site furnishings located at frequent intervals for pedestrian comfort and convenience.
- Two travel lanes and angled on-street parking on one side of the street only.
- Walkway accents at regular intervals, aligned with tree planting, to create rhythm and patterns within the pedestrian realm.
- Illuminated bollards at pedestrian crossings to highlight pedestrian infrastructure and improve safety.
- Buildings with minimal, consistently placed setbacks to establish a unified storefront wall; awnings and other pedestrian amenities encouraged; refer to Architectural Controls for other architectural recommendations.

- Patios and other commercial spill-out activity permitted; storefronts encouraged.
- Street light standards to include banners for downtown branding, pedestrian lights and hanging planters.

Roles and Functions:

- Serves as the main east/west pedestrian corridor connecting the Main Street and King Street Character Zones; provide parking facilities for the downtown area.
- Mixed use buildings, with retail/commercial storefronts and residential/office space on upper floors.



12th Avenue Concept Rendering

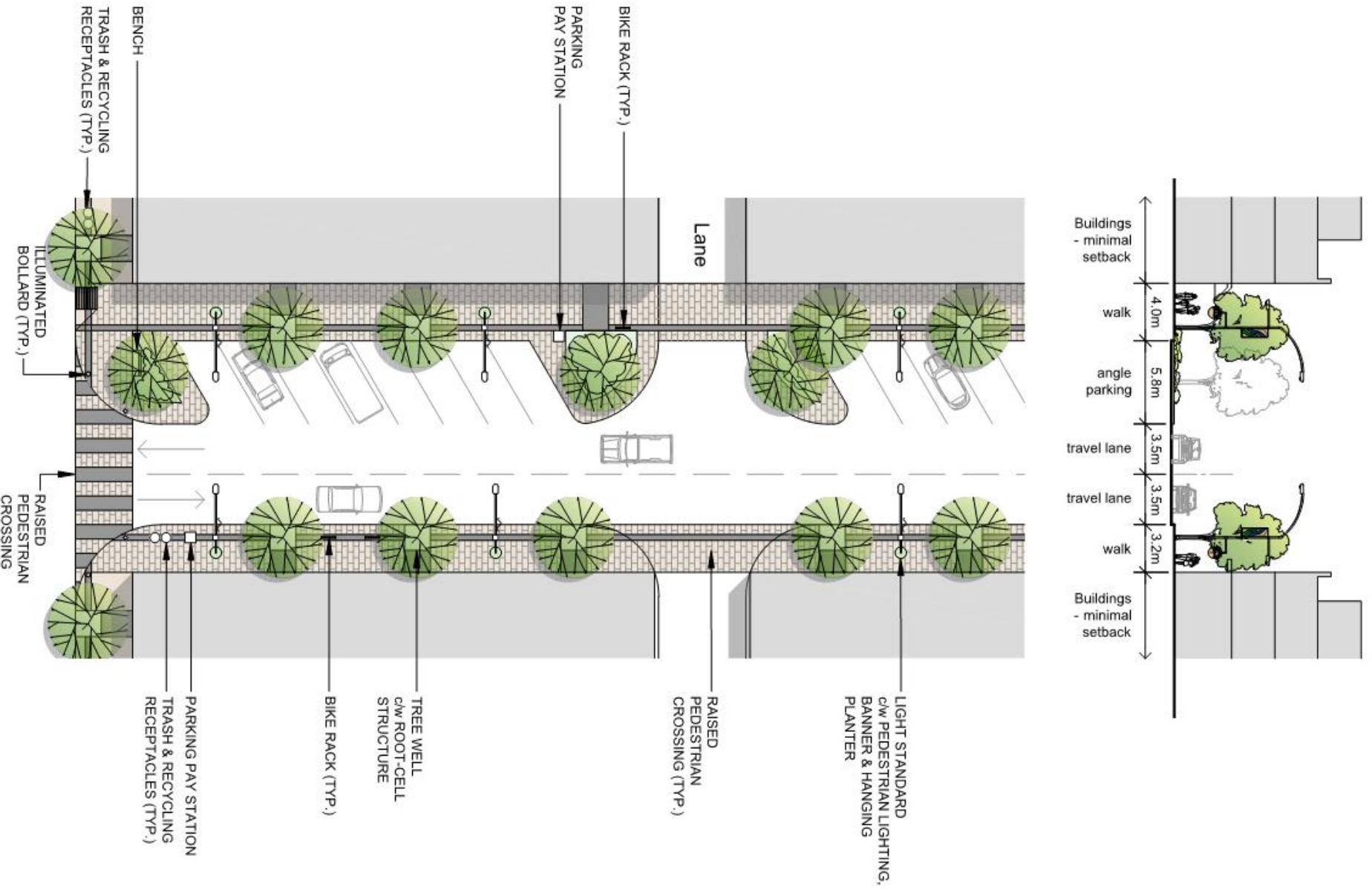


Figure 6-9: Pedestrian Link Model
Typical proposed plan view and cross section of 12th Avenue

(10) Downtown Feature Signage

The City of North Battleford is currently undertaking a project to define key city gateways, and create a series of entrance features to highlight these locations.

This project identified the corner of Railway Avenue and 104th Street as an ideal location for the Railway Avenue Downtown Entrance Feature.

This feature is to be situated within a hardscaped plaza and define the southernmost entrance of the downtown core.

The entrance feature is designed to be viewed from the road, within a moving vehicle, but its location within a small urban plaza also highlights the entrance to the King Street Crossing Character Zone for pedestrians and cyclists.



Figure 6-10: Railway Avenue Entrance Feature Concept

(11) Central Park

Central Park is a prominent green space and entrance feature at the north end of the downtown core. The space currently provides a green, vegetated refuge to the concrete and asphalt-filled downtown, but the current condition of the park prevents the space from being used to its full potential.

The conceptual design of Central Park (Figure 6-11) strives to:

- Create strong connections to adjacent streetscape spaces and to the library landscape.
- Establish the park as an accessible, comfortable place to gather for all users of the downtown.
- Create a space to be used for future outdoor cultural and civic events; the space is to be designed to be used independently and/or in conjunction with the future adjacent plaza along King Street (101 St.).
- Establish a character that will complement the Civic Character Zone in which the park resides.
- Preserve existing features and

incorporate recently proposed design interventions.

- Retain all existing mature trees; new planting fill gaps in the tree planting pattern and will work to strengthen the established vegetation.
- Incorporate significant public art installations.
- Create an urban space that residents of North Battleford are proud of.

All plans, sections and sketches shown are for illustrative purposes only. Details are to be determined during detailed design.



Figure 6-11: Central Park Concept

6.3 POLICY STRATEGY

Planning for the revitalization of North Battleford's Downtown requires policy and regulation changes to the City's Official Community Plan and Zoning Bylaw, both to ensure the strategies contained throughout this Plan are implementable and to ensure the policies and subsequent development that occurs within the downtown aligns with the vision and goals of the Revitalization Action Plan.

The following recommendations for amendments will support the Downtown Revitalization Action Plan:

(1) Official Community Plan Bylaw No. 1970

Section 3.2 Downtown Opportunities

Include a statement within Section 3.2 of the OCP "Downtown Opportunities" referencing the Downtown Revitalization Action Plan's intent and that development within the downtown shall be guided by the Plan.

Section 3.2.2.2 - Downtown Commercial

Replace Policy (I) which speaks to the City endeavouring to begin development of a downtown master plan, with a policy statement that speaks to the guidance of downtown development through the Revitalization Action Plan.

Section 4 Implementation

Within the implementation section of the OCP – The Zoning Bylaw shall contain provisions for Architectural Control Districts and Overlay Zoning Districts similarly to the following:

“The city is ultimately a shared project ... a place where we can fashion a common good that we simply cannot build alone.”

—Charles Montgomery,
Happy City: Transforming Our Lives Through Urban Design

4.2.8 Architectural Control

Where it is considered desirable to preserve the physical character of an area or to promote a selected design theme for an area, Council

may designate the area as an Architectural Control District in the Zoning Bylaw, using the symbol AC in conjunction with any zoning district or apply an architectural overlay zoning district to the area.

In general Architectural control shall only be applied in areas where there is a clear public interest, and where it is considered economically feasible to establish and fund a design review process, consistent with the terms and conditions of *The Planning and Development Act, 2007*.

The design review process for architecturally controlled areas shall be specifically outlined in the Zoning Bylaw, including the requirements for a complete application, the review of the proposal for conformance with area design guidelines, and the procedure for approving Development Permits, including the imposition of terms and conditions that may be attached to such an approval.

Council may appoint a Design Review Committee, as necessary, to assist with the design review process in architecturally controlled areas.

Prior to designating an area as an Architectural Control District or applying an Architectural Control Overlay District, Council shall approve a design plan, which would prescribe guidelines for the area, generally consistent with design principles set out in this Official Community Plan.

4.2.8.1 Architectural Overlay Districts

Council may establish AC Overlay Districts pursuant to Section 73 of *The Planning and Development Act, 2007*.

No use or development of land or buildings is permitted in an AC Overlay District except in accordance with the Architectural Control Guidelines which have been approved by Council, for the district and which are consistent with the provisions of Section 73 of *The Planning and Development Act, 2007*.

Where the provisions of an Architectural Control Overlay District are in conflict with the regulations of the zoning district applicable to a site, the provisions of the Architectural Control District shall apply.

Section 3.9.2.5 Heritage Planning

This section speaks to the importance of integrating heritage conservation into the broader context of planning and decision making and so it is therefore prudent that the City ensures a representative from either the Municipal Heritage Advisory Committee (in the future when this committee has been formed) or in the interim, a general representative that is an active member of the North Battleford heritage community is appointed to the Design Review Committee.

(2) Zoning Bylaw No. 1971

Section 4.8 Accessory Buildings and Structures

Rename this section to “Accessory Uses, Buildings and Structures” to accommodate accessory uses such as sidewalk cafes and patios.

Add sidewalk cafes as a permitted accessory use (Section 4.8.11) in association with an approved restaurant in the C1 Zoning District. Add a reference for applicants to consult Sections 2.5.10, 3.3.8, and 4.3.8 of the Architectural Control District Guidelines, as appropriate, for development standards.

Additional regulations, as the City sees fit, can be added to the bylaw regarding sidewalk cafes, or alternatively a separate bylaw regulating the use of sidewalk cafes could be developed (e.g. a sidewalk café

licensing bylaw). Examples of what the City of North Battleford could consider when developing more in-depth regulations for sidewalk cafes and patios include:

- Setbacks
- Hours of operation
- Requirements for furniture and other elements in the off hours
- Design and layout elements
- Pedestrian access
- Utility access
- The use of overhead structures
- Lighting and signage
- Patronage size / physical size of the café
- Sightlines
- Landscaping / fencing
- Heating
- Fire and safety concerns
- Parking patios

Section 4.12.9 Parking Lots

Consideration should be given to adding additional landscaping regulations for parking lots, particularly in the C1 Downtown District. The only landscaping currently required is limited to Section 4.12.9, as there are no landscaping requirements for the C1 Downtown District. The regulation for landscaping is currently very broad and states “Parking lots shall be landscaped to improve the visual appearance of the site”. It is recommended that additional, more prescriptive requirements be added to this section.

The most common landscaping regulations for parking require screening, as recommended in the Architectural Control Guidelines. The City should consider adding a clause within Section 4.12.9 that requires parking lots within the C1 – Downtown District to include a 1.2 metre (minimum) fence requirement.

Section 4.12.9(4) *“Parking lots shall be landscaped to improve the visual appearance of the site”* should be expanded to include *“...and shall include a combination of trees and shrubs.”*

Section 4.12.9 (5) *“Where parking lots abut a residential property boundary a minimum landscape buffer of 2.0 metres shall be provided”* should also be expanded to include *“...consisting of a combination of trees, shrubs and turf.”*

Section 5 Zoning Districts

Add the overlay district (AC1—Downtown Architectural Overlay District) to the Classification of Zoning Districts.

Section 6.9 C1 – Downtown Commercial District

Amend the development standards table to include arenas as a permitted use (i.e. replace “commercial recreational facilities, excluding arenas and golf courses” to “commercial recreational facilities, excluding golf courses”).

Section 6 District Schedules

Add a district schedule for the AC1 Overlay District as follows:

6.22 AC1 – C1 Architectural Control Overlay District

6.22.1 Purpose

The objective of the AC1 – Downtown Architectural Control Overlay District is to establish an Architectural Control District (ACD) overlay for selected areas within the C1 – Downtown Commercial Zoning District and selected areas adjacent to the downtown in the MU – Mixed Use Zoning District. The primary purpose of this ACD is to promote a selected design theme for areas within and adjacent to North Battleford’s Downtown.

6.22.2 ACD for the Downtown

- (1) Areas within the C1 – Downtown Commercial District and areas adjacent to the Downtown within the MU – Mixed Use District are subject to an ACD overlay known as the Architectural Control Overlay District (AC1).
- (2) The architectural control district guidelines contained in the City of North Battleford Downtown Revitalization Action Plan apply in the AC1 – Architectural Control Overlay District. The Downtown Revitalization Action Plan is attached as Appendix “X” to this Bylaw and forms part of this bylaw.
- (3) All development in the AC1 – Architectural Control Overlay District shall conform to the Architectural Control Guidelines contained within the North Battleford Downtown Revitalization Action Plan.

Section 7 Maps

Amend the Zoning Map to include the new overlay district as identified in the Revitalization Plan.

(3) Other Considerations

Within the architectural guidelines it has been recommended that the City require written permission from property owners who wish to board up windows and glazing for more than one month. The City could further support this initiative and be better equipped to enforce this regulation through their property maintenance bylaw.

In keeping with the intent of the Downtown Plan, the City may want to consider adopting a **mobile food truck bylaw** to continue to encourage uses that will activate the public space in the downtown. In addition to having major positive economic, social and spatial impacts, food trucks also act as magnets in underutilised spaces, congregating people who may be travelling on foot or by vehicle to sidewalks, alleys, parking lots, and into the downtown.

7 ACTION ITEMS & PRIORITIES

ACTION ITEM	PRIORITY/SCHEDULE			
	HIGH/SHORT-TERM	MEDIUM/MID-TERM	LOW/LONG-TERM	ON-GOING
Rename 100th Street between Railway Avenue and 14th Avenue to "Main Street". Rename 101st Street between Railway Avenue and 14th Avenue to "King Street"	◆			
Develop downtown theme	◆			
Investigate potential for additional opportunities, through continued collaboration with First Nations developers, to invest in existing properties, creating downtown hubs for Indigenous business development that continue to build upon existing First Nation development in the downtown.	◆			
Investigate Property Tax Abatements	◆			
Investigate programs for development rebates	◆			
Expansion of the current façade improvement grant program	◆			
Use of additional incentive programs to address vacant lots and preservation of heritage buildings	◆			
Heritage designation / policy			◆	◆
Begin strategic planning for downtown destination project (downtown arena)		◆		
Begin strategic planning for permanent year-round indoor/outdoor farmers' market			◆	
Begin strategic planning for the development of advanced education centre in downtown		◆		

ACTION ITEM	PRIORITY/SCHEDULE			
	HIGH/SHORT-TERM	MEDIUM/MID-TERM	LOW/LONG-TERM	ON-GOING
OCP amendments	◆			
Zoning Bylaw amendments	◆			
Monitor needs for additional policies / regulations				◆
Work with RCMP – Safe Growth Strategy			◆	◆
Review prolific offender and high crime sites	◆			
Conduct a safety audit on Central Park	◆			
Conduct a safety audit on H.D. McPhail Park			◆	
Develop a marketing campaign	◆			
Develop a parking strategy	◆			
Review City Property Nuisance and Nuisance Abatement Bylaw		◆		
Vehicle-focused streetscape strategy		◆	◆	
Pedestrian-focused streetscape strategy	◆			
Central Park redevelopment		◆		

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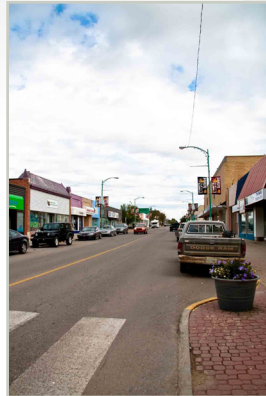
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Appendix "A"

City of North Battleford

Downtown Architectural Control District Guidelines

Prepared for Crosby Hanna & Associates and the City of North Battleford by:
SEPW Architecture Inc.

June 24, 2016



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1.0 Preamble

1.1 Introduction:

“We’re Young and Ambitious”

The purpose of this document is to provide architectural guidelines within a prescribe area of downtown North Battleford. These guidelines, once implemented, will address a variety of issues facing North Battleford such as urban safety, economic sustainability, historical preservation and downtown revitalization, which when combined into built form will enable a strong sense of place and contribute to the overall vision of a young and ambitious future downtown North Battleford.



Figure 1: We’re Young But Ambitious (University of Saskatchewan)

The guidelines are also intended to be used as a tool for developers and building owners when undertaking façade improvements, renovations and new construction. By proposing a consistent framework for architectural control it is intended that building owners, designers and developers have flexibility when working within the Downtown Architectural Control District, while contributing to the overall vision for North Battleford as a city of national historic merit that ambitiously engages the future.

1.2 Objectives:

The objectives of the architectural guidelines herein are as follows:

- To support the city’s vision to Preserve the Past and Embrace the Future in a *“young and ambitious”* manner.
- To guide the creation of building improvements and new construction within the Downtown Architectural Control District to “facilitate the development of (a) visually appealing” downtown “commercial district with strong consideration given to creating a positive, lasting impression and civic pride” within the city of North Battleford. (Reference – Objective 3.2.2.2 OCP)
- To utilize the elements of a building to promote safety within a pedestrian friendly environment.
- To create a document from which the City of North Battleford can draw upon to implement incentives to individual building owners to encourage downtown redevelopment.
- To ensure that an aesthetically complementary Downtown Architectural Control District is developed over time.
- To ensure accessible new construction to help facilitate *“access by seniors and others with mobility constraints”*. (Reference – Objective 3.2.2.2 OCP)
- To provide architectural guidance while allowing individual design freedom.
- To guide building improvements that are sensitive to North Battleford’s climate and geography by recognizing that it is a winter city.

- To support the initiatives outlined within the Official Community Plan of North Battleford, dated December 2013..

1.3 Organization of this Document:

This document has been organized in the manner shown on the flow chart found below (Figure 2).

In summary:

A Downtown Architectural Control District (DACD) has been created as shown in Figure 3. Guidelines within this area apply to all areas.

Within the DACD, Specialty Character Zones have been created, also as shown in Figure 3. These Character Zones have additional architectural guidelines that differ subtly between one another.

Finally, the guidelines are divided into two categories; one for existing buildings and an additional category that applies to new construction - the intent of which is to ensure building owners, designers and developers have specific guidelines that are tailored to the scope of work being performed.

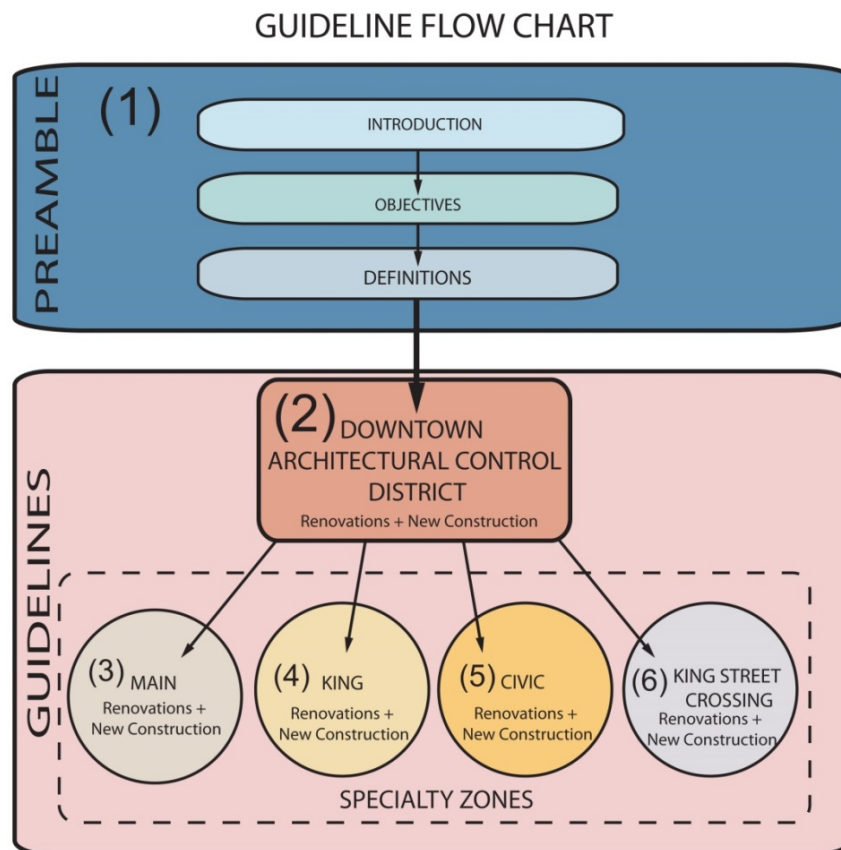


Figure 2: Guideline Document Organization

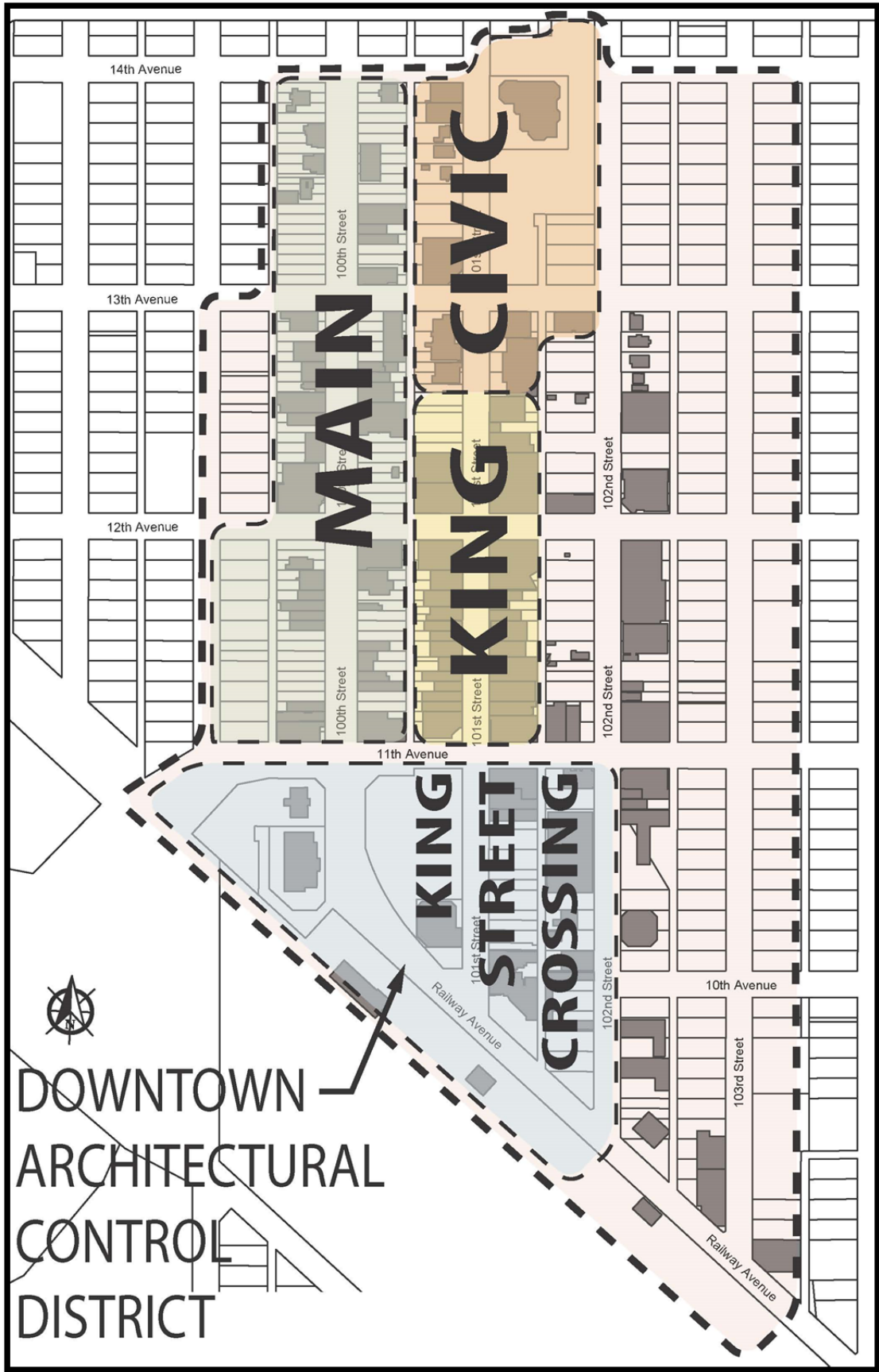


Figure 3: DACD/Character Zone Map

1.4 Definitions:

Architectural Guidelines: Controls set by the city of North Battleford intended to help realize the revitalization of the city's downtown.

Downtown Architectural Control District: (DACD) The Downtown Architectural Control District, as outlined in Figure 3, is the defined area of Downtown North Battleford to which the guidelines in this document apply. This area of the city has a commonality of urban characteristics such as a pedestrian scale, mixed use potential, built form and buildings of historic architectural value. Guidelines for the DACD affect the entire area noted on Figure 3.

Character Zones: Character zones (CZ) are areas of a city which exude differences in architectural identity as one passes from one into another. Differences can include but not be limited to materiality, built form, pedestrian and vehicular circulation, occupancy and age. Because of these differences, architectural guidelines have been developed for each Character Zone. Although separate Character Zones are being suggested, the architectural guidelines herein are intended to work together and to complement each other in order to promote a cohesive Downtown Architectural Control District. The character zones are as follows; the Main Street Character Zone (MSCZ), the King Street Character Zone (KSCZ), the Civic Character Zone (CCZ) and the King Street Crossing Character Zone (KSCCZ). It is anticipated that the application of these guidelines may eventually be expanded over time to include other blocks of downtown North Battleford. See Figure 3 for the boundaries of the character zones.

Existing Building Guidelines: Guidelines describing requirements relating to existing buildings apply to repairs, maintenance and renovations. Work includes but is not limited to:

Exterior painting, façade repair, façade redesign, signage improvements, exterior cladding replacement, window and door replacement, roof replacement, repointing or repair of existing exterior masonry, glazing repair or replacement; accessibility upgrades, lighting upgrades, occupancy changes, etc.

New Construction Guidelines: Guidelines describing requirements relating to new construction apply to new buildings, structures and site work within the DACD. They are intended to apply in *addition to* the set of guidelines noted for existing buildings in any particular category.

Fenestration: Fenestration is the arrangement of windows and doors on the exterior façade of a building. It includes two separate groups: windows/storefront glazing and exterior doors/entrances. The fenestration guidelines within this document cover the arrangement of these elements, their materiality and their subsequent relationship to the building.

Signage, Awnings and Canopies: Signage, advertisements, awnings and canopies that project from or are attached to a building's façade.

Walls and Materiality: Refers to materials used for walls and their design within building's façade. This includes the exterior cladding of a building's envelope that is visible from the street.

Lighting: Refers to exterior lighting of a building's façade which includes but is not limited to the illumination of signs, entrances, displays and building elements.

Massing: Refers to the general shape and physical volume of buildings.

Buildings of Heritage Interest: Buildings, structures serving as good representatives of the built form of a particular time period which should be considered for rejuvenation such that the history of a street face can be maintained.

Heritage Designated Properties: Heritage Designated Properties are properties that are officially protected by their respective municipality and/or the province of Saskatchewan. We understand that currently the Allen Sapp Gallery is the only heritage designated property found within the city of North Battleford.

Dark Sky Compliant: Fixtures that reduce light pollution by reducing the unnecessary illumination of the night sky.

Uplit: Lighting whose primary direction is upwards. Example: Signage that is lit by directional lighting from below.

Downlit: Lighting whose primary direction is downwards. Example: Signage that is lit by directional lighting from above.

Street Wall: A sequence of front façades of buildings that are built on or close to the street boundary (Property Line)

Base Level: The portion of a building's façade that is associated with the main floor.

Main Floor: The floor of a building at or nearest to ground level.

Signage: Signs used for display, advertising etc. The diagram below illustrates several different types of signage.

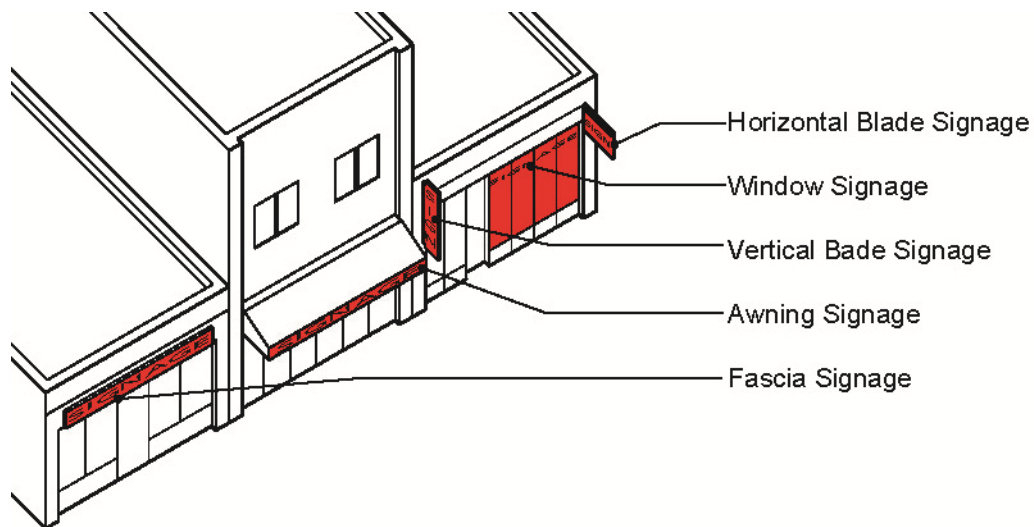


Figure 4: Building Signage

Façade Elements: Components that make up a façade such as windows, doors, cladding etc. The diagram below (Figure 5) illustrates many of the traditional elements of a historical façade found within North Battleford.



Figure 5: Historic Façade Elements

Abbreviations:

DACD: Downtown Architectural Control District

MSCZ: Main Street Character Zone

KSCZ: King Street Character Zone

CCZ: Civic Character Zone

KSCCZ: King Street Crossing Character Zone

2.0 Downtown Architectural Control District (DACD):

2.1 Existing Character:

The Downtown Architectural Control District (DACD) as outlined in Figure 6 is the historical centre of North Battleford. It is bound by Railway Avenue East to the south, 103rd Street to the east, 99th Street to the west and 14th Avenue to the North. The area covers a large portion of the C1 – Downtown Commercial District zoning area and, within it, a wide range of architectural styles can be found. The district is the community's core, and currently requires extensive architectural revitalization to fully realize its enormous potential.

The architectural guidelines found within this document were influenced by the recommendations of the city's Official Community Plan dated December 2013 and the North Battleford Best Practices in Downtown Redevelopment Study dated June 2010.

The North Battleford Best Practices in Downtown Redevelopment Study emphasized the importance of design in the downtown revitalization process, noting that "creating an inviting atmosphere" would convey *"a positive visual message about the commercial district and what it has to offer"*. The study recommended implementing *"building improvements, establishing good maintenance practices, rehabilitating historic buildings, encouraging appropriate new construction and developing sensitive design management systems"*. The guidelines found within this section are intended to help realize the best practices noted in the study and to build upon the current Official Community Plan Objectives including

3.2.2.2 Policy (b) which states that *"the character of the street environment...into the downtown area ...(shall be) encouraged to develop with urban design principles in mind that enhance the urban environment in a way that promotes North Battleford as a pleasing and inviting urban environment for people to stop, shop and play in. Development...shall be encouraged to consider visual interest; screening of aesthetically poor areas; enhancing the aesthetic appearance of buildings and sites; providing a consistent, high quality visual image; minimizing the visual impact of parking and services; and minimizing conflicts between pedestrians and vehicles."*

The DACD is intended to provide the City of North Battleford with a series of common architectural guidelines to help realize the potential of downtown through the revitalization process. In addition to the overall DACD, special Character Zones have been developed. These Character Zones provide additional guidelines for specific areas that are intended to work in conjunction with the guidelines of the Downtown Architectural Control District. Guidelines for specific Character Zones are found in subsequent sections.

The Character Zones described within this report are:

1. The Main Street Character Zone (MSCZ);
2. The King Street Character Zone (KSCZ);
3. The Civic Character Zone (CCZ);
4. The King Street Crossing Character Zone (KSSCZ).

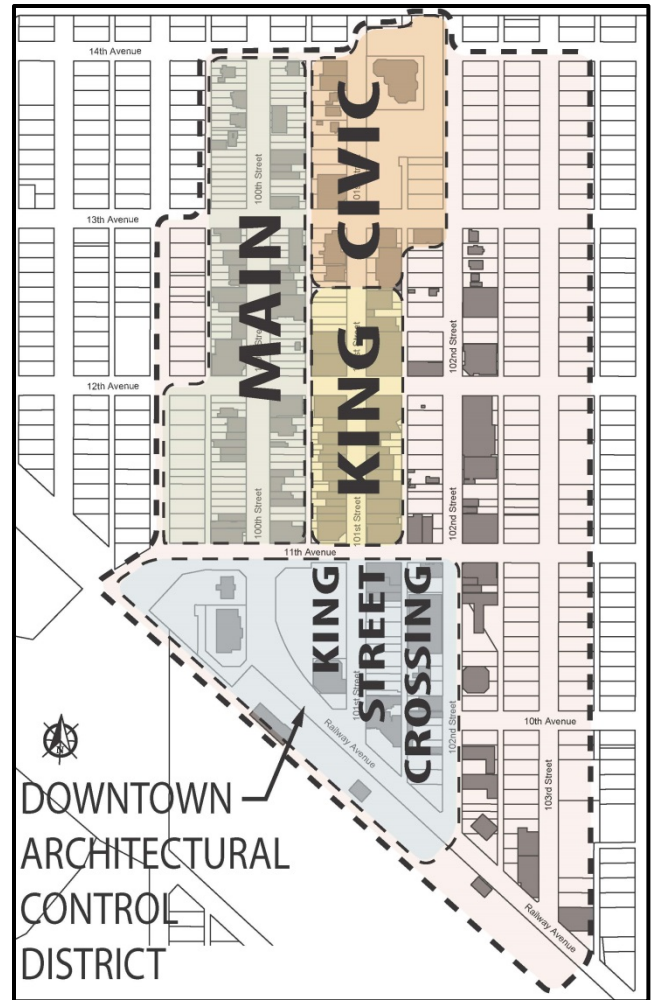


Figure 6: DACD Map

2.2 Existing Zoning:

The DACD is located within the C1 – Downtown Commercial District as defined by the current city zoning bylaw. This zoning allows for high density, mixed commercial use development. Most principal building uses are currently permitted, with the following listed as discretionary uses: dwelling units, apartment buildings, single detached dwellings, bus terminals, car washes, lumber yards, malls, parking lots, shopping centres, ambulance stations and major telecommunications towers. The main objective for C1 – Downtown Commercial District as per the zoning bylaw is as follows:

“The objective of the C1 - Downtown Commercial District is to provide for development in the form of a mix of downtown commercial uses, institutional uses, government and professional offices, retail, entertainment uses, public space, and other uses that are characteristic and supportive of high-density, high-activity, safe and pedestrian-oriented urban development that serves as the idealized central “hub” for the city.”

Within C1 zoning, there are generally no front yard setbacks, no rear yard setbacks, or maximums regarding site coverage, except for properties that are adjacent to other zoning districts. There are stipulations for minimum site widths in the zoning bylaw, most being 6 meters. Generally minimum site areas of 225 m² are required. Currently there are no overall height limitations defined in the zoning district.



Figure 7: Classical Building of Heritage Interest

2.3 Existing Proportion, Scale and Notable Buildings:

The existing proportion and scale of the architecture found within the overall DACD follows a consistent pattern of development that is grounded in historical precedent. Most buildings in the central portion of the zone are constructed right up to their front and side property lines creating an architectural character and urban scale that could be interpreted as a good foundation for a vibrant and revitalized downtown. Unfortunately, surface parking lots exist where buildings once stood and many older buildings are in a poor state of repair. This results in a diminished overall character within the downtown area. However, open lots also provide the potential for new development which would unify the city’s core and strengthen North Battleford’s street fabric.

The existing buildings within the DACD house a significant mix of retail, personal services, offices and institutional buildings. Building vacancy rates appear to be high. Notable buildings found within the district include City Hall, North Battleford’s Central Library, The Central Post Office, Capital Theatres, as well as the majority of the community’s banks. Along Railway Avenue East, exists the sole heritage designated property in North Battleford: the Allen Sapp Gallery and the historically-significant CN Rail Station.

2.4 Buildings of Heritage Interest:

During the summer of 2015, SEPW Architecture Inc. conducted a one-day visual building inventory along 100th Street between 11th Avenue and 13th Avenue and along 101st Street between 11th Avenue and 12th Avenue. Within this area, many buildings with varying degrees of heritage interest were noted. Some were examples of older classical brick buildings which were built around the inception of North Battleford as a city,

while other buildings represented a mid-century modern aesthetic. It will be left to the building owners and citizens of North Battleford to determine if these notable buildings should receive any further designation or protection from significant alteration and/or demolition. Table 1 below indicates the address and approximate age of many of the noted buildings of heritage interest found within the DACD.

BUILDINGS OF HISTORIC INTEREST		
Address	Approximate Age (2015)	Comments
1101 100 th Street	67	Theatre – Heritage Significance
1102 100 th Street	63	Hotel – Heritage Significance
1132 100 th Street	105	Historic building
1142 100 th Street	102	Historic building former bank.
1157 100 th Street	108	Historic building with stucco covering original façade.
1161 100 th Street	65	Mid-century brick cladding, large storefront windows.
1165 100 th Street	57	Mid-century brick cladding, large storefront windows.
1171 100 th Street	86	Stucco covering original façade.
1232 100 th Street	56	Mid-century modern post office
1252 100 th Street	64	Mid-century commercial.
1241 100 th Street	69	Stucco covering original façade.
1245 100 th Street	63	Mid-century commercial.
1291/1291A 100 th Street	62	Mid-century design – residential upper floor.
1112 101 st Street	105	Historic building – Stucco covering original masonry on the ground level.
1117 101 st Street	77	Appears to be heavily modified from original design
1121/1121a	108	Historic Building - Appears heavily modified from original design
1122 101 st Street	100	Historic Building - Appears heavily modified from original design – poor condition
1125 101 st Street	108	Appears heavily modified from original design.
1131 101 st Street	71	Mid-century – possible porcelain panel façade.
1132 101 st Street	80	Commercial design – Appears close to original condition.
1141 101 st Street	103	Historic Buildings - Appears close to original condition.
1151 101 st Street	82	Commercial design – Appears close to original condition.
1155 101 st Street	67	Appears to be heavily modified from original design.
1171 101 st Street	90	Commercial design – Appears close to original condition. Recently improved façade.
1183/1185/1187 101 st Street	80	Appears to be heavily modified from original design

Table 1: Buildings of Heritage Interest



Figure 8: Mid Century Building of Heritage Interest

2.5 DACD – Architectural Guidelines

The DACD as shown on Figure 6 is located in the centre of the community of North Battleford. Like many small cities the downtown area of North Battleford has experienced a downturn in economic activity since the mid-20th century. As such, downtown North Battleford presents an undeserved first impression to visitors entering the historic city that does not yet adequately reflect the values of its residents. The overall impression of the downtown area should be that of a rich pedestrian and vehicular realm that is unified by a common urban fabric which subtly changes between individualized Character Zones, creating a vibrant and welcoming atmosphere.

The intent of the general guidelines for the DACD is to provide a set of guidelines common throughout the control district that establish base design standards for the downtown of North Battleford.

2.5.1 Fenestration:

Intent: Throughout the DACD patterns of openings of doors and windows should relate to neighbouring properties when possible to create visual consistency and to create a street environment which is highly visible from the surrounding buildings, ensuring “eyes on the street” to promote safety and economic sustainability.

Fenestration is divided into two major categories Windows/Glazing and Exterior Doors/Storefront Entrances.

Windows and Glazing	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> • Windows and Glazing shall not be boarded up for more than one month without written permission from the City of North Battleford. 	<ul style="list-style-type: none"> • Frame and glazing technology must be appropriately selected to meet local climatic conditions.
<ul style="list-style-type: none"> • Vacant properties should utilize clean full window coverings in order to conceal the interior of a building. 	<ul style="list-style-type: none"> • Windows and glazing should be designed to be sympathetic to the fenestration patterns of neighbouring buildings. Refer to Figure 9.
<ul style="list-style-type: none"> • When replacing damaged glass and frames within a storefront, ensure that the style and color of the frame, and the type of glass chosen, complement the existing architectural style of the building to ensure a complementary visual appearance. 	<ul style="list-style-type: none"> • Buildings located on corner lots should contain glazing that faces all street frontages.
<ul style="list-style-type: none"> • Reducing the area of existing glazed area within the façade by more than 25% is not permitted. 	
<ul style="list-style-type: none"> • The use of reflective glazing is not permitted below the fourth floor. 	

¹Guidelines apply in addition to the guidelines for Existing Buildings.

Doors and Entrances	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> • Retail/commercial entrance doors are recommended to be clearly defined and readily identifiable within the context of the building's façade. 	<ul style="list-style-type: none"> • Newly constructed entrances are required to be barrier free.
<ul style="list-style-type: none"> • Secondary doors should not be visually prominent when compared to retail/commercial entrances, except for properties facing 12th Avenue. 	<ul style="list-style-type: none"> • Retail/Commercial entrance doors shall be clearly defined and readily identifiable within the context of the building's façade.
<ul style="list-style-type: none"> • Doors and entrances shall not be boarded up for more than 1 month without written permission from the city of North Battleford. 	
<ul style="list-style-type: none"> • Renovations planned for public entrances of buildings should attempt to meet current national building code requirements for barrier free access. 	
<ul style="list-style-type: none"> • The area between the sidewalk and a building's entry shall be free of tripping hazards and hard surfaced. 	

¹Guidelines apply in addition to the guidelines for Existing Buildings.

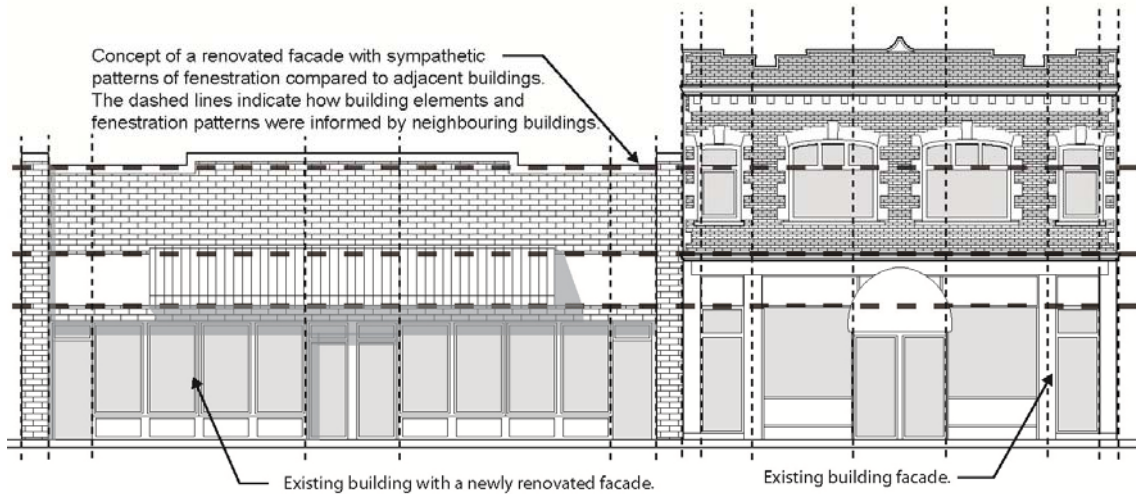


Figure 9: Diagram Showing Sympathetic Patterns of Fenestration between Adjacent Buildings

2.5.2 Signage, Awnings and Canopies:

Intent: The following guidelines are intended to ensure an overall consistent quality is achieved with respect to signage, awnings and canopies. The zoning bylaw of North Battleford sets regulations for signage in commercial districts (see 4.10.8 of the North Battleford Zoning Bylaw). It is intended that the architectural guidelines below are applied in addition to these zoning requirements.

Signage, Awnings and Canopies^{1,2}	
Existing Buildings	New Construction³
<ul style="list-style-type: none"> • Signs shall be constructed of rigid and durable materials. 	<ul style="list-style-type: none"> • Building designs shall incorporate areas within their façade that are intended for signage. Refer to Figure 10.
<ul style="list-style-type: none"> • Primary fascia signs shall be placed within the bounds of areas designed for signs. These include existing fascia bands and/or between upper window sills and lower window headers. Refer to Figure 10. 	
<ul style="list-style-type: none"> • Signs shall be professionally made. 	
<ul style="list-style-type: none"> • Roof signs are not permitted. Refer to Figure 10. 	

¹Refer to the zoning bylaw for existing signage regulations.

²Refer to 2.5.4 for guidelines on signage lighting.

³Guidelines apply in addition to the guidelines for Existing Buildings.

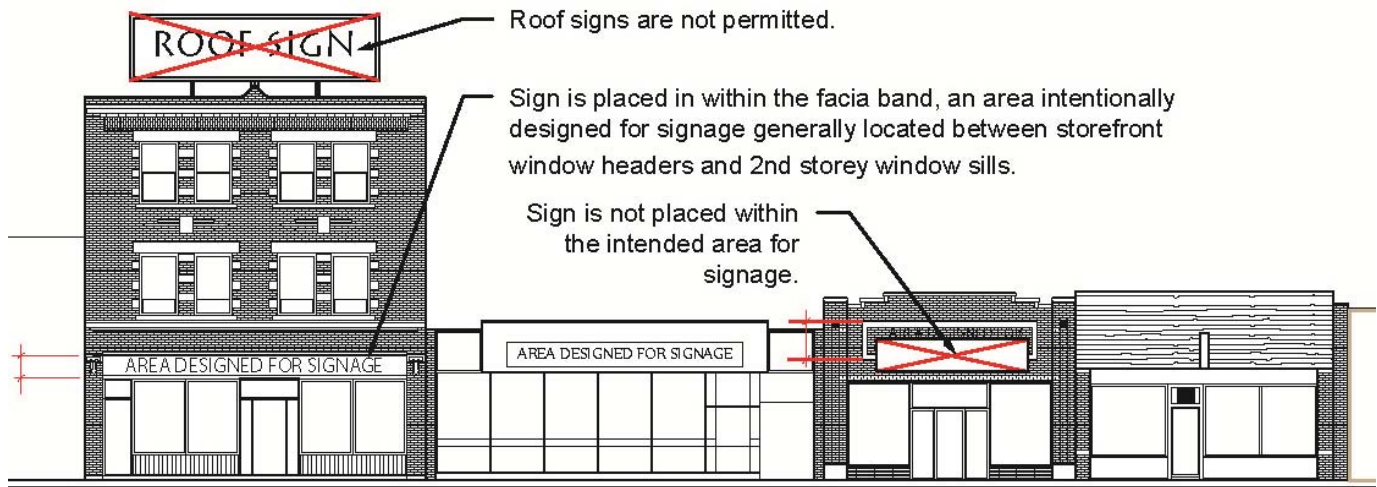


Figure 10: Diagram Showing Area's Found Within Façades That Are Intentionally Made For Signage.

2.5.3 Materiality:

Intent: Ensuring that exterior walls of buildings found within the DACD utilize high quality cladding materials and ensuring that these materials are applied to avoid a monotonous appearance is the prime intention of the following architectural guidelines. Renovations to a building's façade must not only be complementary to existing materials and architectural style but also to adjacent buildings to ensure a consistent architectural character. Rejuvenation of original brick façades is preferred over the use of new materials where possible to preserve historic integrity. Durable and high quality cladding materials such as brick or stone that enhance the architectural aesthetic are recommended. Vinyl siding and other similar materials predominantly used in residential construction shall be avoided.

Materiality	
Existing Buildings	New Construction ¹
<ul style="list-style-type: none"> Where materials such as brick are to be repaired, care should be taken to ensure the replacement materials are of a suitable match and colour to the original, this includes the tooling and colour of mortar joints. 	<ul style="list-style-type: none"> A minimum of two materials are required (not including fenestration) for cladding a façade. Materials shall be well proportioned and sensitive to adjacent properties
<ul style="list-style-type: none"> With the exception of fully detached single-family residential homes, vinyl cladding is not permitted. 	<ul style="list-style-type: none"> The principles of "base, middle and cap" shown in Figure 5 should be considered when applying materials to the façade .
<ul style="list-style-type: none"> A minimum of two cladding materials are recommended (not including fenestration) for application on an improved façade. Materials shall be well proportioned and sensitive to adjacent properties. 	
<ul style="list-style-type: none"> Façades clad entirely in stucco are discouraged. 	
<ul style="list-style-type: none"> Cladding must incorporate the use of architectural details such as reveals, shadow lines and colour change to break up the apparent mass of a façade. 	

¹Guidelines apply in addition to the guidelines for Existing Buildings.

2.5.4 Lighting:

Intent: The intent of these guidelines is to ensure that façade and building lighting enhances the public realm. The selected style of the lighting should be complementary to a façade's aesthetic and overall architectural style.

Lighting	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> Oscillating strobe lights are not permitted. 	<ul style="list-style-type: none"> Up-facing façade lighting is not permitted. See Figure 11.
<ul style="list-style-type: none"> Lighting is encouraged to be “dark sky” compliant, incorporating downlights used as much as possible. See Figure 11. 	<ul style="list-style-type: none"> Up-facing directional lighting of signage or buildings is not permitted.
<ul style="list-style-type: none"> Lighting of public sidewalks from a building is encouraged. 	<ul style="list-style-type: none"> Lighting of public sidewalks from a building is required.
<ul style="list-style-type: none"> Lighting shall be uniformly distributed over the relevant area to avoid creating areas that are overly bright. 	<ul style="list-style-type: none"> Buildings situated on corner lots are required to provide illumination on all street faces.
<ul style="list-style-type: none"> Lighting shall be arranged so that it is not hazardous to pedestrians, motorists and air traffic. 	<ul style="list-style-type: none"> Provision of adequate additional lighting of other site areas - such as alcoves, parking areas, walkways and rear entrances – is required.
<ul style="list-style-type: none"> Lighting shall not interfere with neighbouring properties. This includes directional lighting that illuminates other buildings. 	
<ul style="list-style-type: none"> Buildings situated on corner lots are encouraged to provide illumination on all street faces. 	
<ul style="list-style-type: none"> New up-facing façade lighting is not permitted. 	
<ul style="list-style-type: none"> New up-facing signs are not permitted. 	
<ul style="list-style-type: none"> New signs with down-facing lighting are encouraged. 	
<ul style="list-style-type: none"> Provision of adequate additional lighting of other site areas – such as alcoves, parking areas, walkways and rear entrance areas – is encouraged. 	
<ul style="list-style-type: none"> Lighting shall be complementary to a building's aesthetic and overall character. 	
<ul style="list-style-type: none"> It is recommended that exterior lighting utilize energy efficient lights such as LED's. 	

¹Guidelines apply in addition to the guidelines for Existing Buildings.

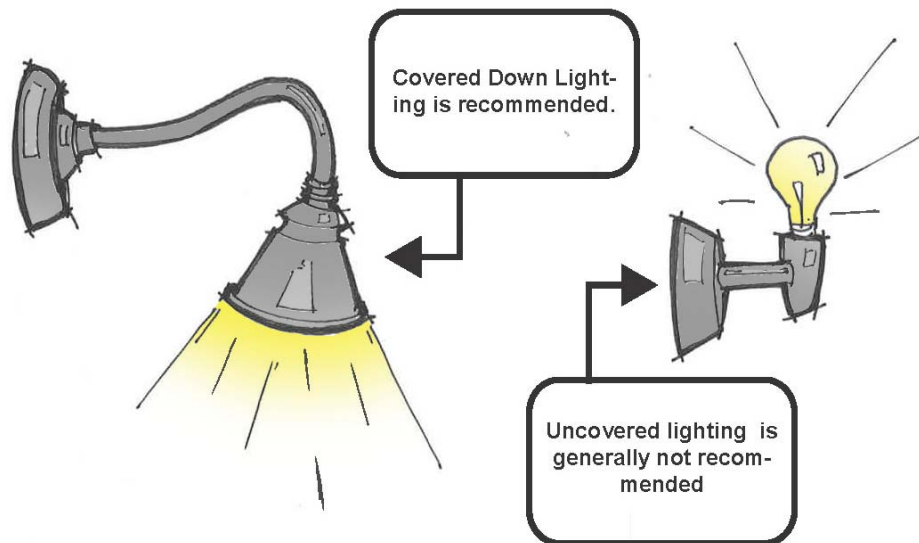


Figure 11: Downwards Lighting and Upwards Lighting

2.5.5 Colour

Intent: The following guidelines are intended to ensure that buildings within the DACD present an inviting atmosphere through the use of colours. Monochromatic façade colours detract from overall architectural aesthetics and should be avoided.

Colour	
Existing Buildings	New Construction ¹
<ul style="list-style-type: none"> Monochromatic colour schemes are discouraged. 	<ul style="list-style-type: none"> Monochromatic colour schemes are not permitted.
	<ul style="list-style-type: none"> Building street faces shall consist of two or more primary façade colours (excluding fenestration).

¹Guidelines apply in addition to the guidelines for Existing Buildings.

2.5.6 Roofs:

Intent: The intent of the guidelines below is to ensure that roofs located within the DACD are of complementary in design to the existing urban character. The vast majority of existing roofs within the DACD are of low-slope roof construction, making them invisible from the street.

Roofs	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> Mechanical systems mounted on roofs shall be concealed with screening or parapets so that they are not visible from the street. 	<ul style="list-style-type: none"> The use of parapets or screening to conceal roofs such that they are not visible from the street is required.
	<ul style="list-style-type: none"> Parapets and roof lines are recommended to be sympathetic to the patterns of parapets and roof lines of adjacent buildings. See Figure 9.

¹Guidelines apply in addition to the guidelines for Existing Buildings.

2.5.7 On-Site Parking:

Intent: The intent of the guidelines below is to ensure that the aesthetics of areas dedicated to on-site parking are improved within the DACD.

Guidelines for On-Site Parking	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> Surface parking shall be concealed from the street using screens and planting. 	<ul style="list-style-type: none"> Parking is not permitted within the front yard. Parking shall be placed at the rear or under a building. In each case the parking shall be suitably screened from view from the street.
<ul style="list-style-type: none"> Surface parking is encouraged to be moved to the rear of a building where possible. 	

¹Guidelines apply in addition to the guidelines for Existing Buildings.

2.5.8 Site Coverage and Massing:

Intent: Within the DACD site coverage and building massing shall be used to improve the overall architectural character of the district through considerate human-scaled design that creates a pedestrian-scaled and friendly environment with a strong urban character.

Site Coverage and Massing	
Existing Buildings	New Construction¹
<ul style="list-style-type: none"> The City of North Battleford Zoning Bylaw governs permitted setbacks and projections within yards. 	<ul style="list-style-type: none"> Buildings of primarily residential occupancy are permitted to have no more than a 3 meter maximum front setback from the property line. Permitted projections within this setback include porches, stoops and patios.
	<ul style="list-style-type: none"> Buildings of primarily commercial occupancy are not permitted a maximum 3m front setback, unless the primary occupancy requires the use of a porch, stoop or patio.
	<ul style="list-style-type: none"> The area of a permitted front setback not occupied by a porch, stoop or patio must be fully landscaped.

¹Guidelines apply in addition to the guidelines for Existing Buildings.

2.5.9 Buildings of Heritage Interest:

Intent: The intent of the guidelines below is to ensure that buildings of Heritage Interest are evaluated in order to ensure that the historical urban fabric of North Battleford is maintained for future generations.

Guidelines for Buildings of Heritage Interest
<ul style="list-style-type: none"> Buildings of heritage interest shall be evaluated by a Design Review Committee, created by the City of North Battleford (See Section 7.0) to determine a property's historical significance to the city of North Battleford.
<ul style="list-style-type: none"> Major modifications to buildings of heritage interest noted above are discouraged until the building's status has been determined by the City of North Battleford.
<ul style="list-style-type: none"> Minor improvements that follow the Standards and Guidelines for the Conservation of Historic Places in Canada are recommended.
<ul style="list-style-type: none"> Guidelines for Signage, Awnings and Canopies found within this document apply to the buildings listed above as long as there is no conflict between these guidelines and those found within the Standards and Guidelines for the Conservation of Historic Places in Canada.

2.5.10 Outdoor Street Patios (applies to properties along 12th Avenue only):

Intent: In order to encourage a vibrant streetscape in summer months temporary street patios are encouraged. The patios are intended to promote adaptive seasonal use of 12th Avenue allowing business owners to capitalize on the unique pedestrian character found along that street. The following guidelines are intended to guide acceptable best practice standards for temporary on-street patios.

Outdoor Temporary Street Patios
<ul style="list-style-type: none">• Temporary patios shall be durably constructed with platforms built constructed with exterior grade lumber.
<ul style="list-style-type: none">• Temporary patios shall be equipped with ramps as necessary to meet the accessibility standards found in the National Building Code of Canada (current edition).
<ul style="list-style-type: none">• Temporary patios must be maintained in an orderly and clean appearance at all times.
<ul style="list-style-type: none">• Railings shall meet National Building Code standards on all sides facing the street and must be at minimum 1070mm from the floor and securely attached to the base.
<ul style="list-style-type: none">• Temporary patios may not impede existing drainage.
<ul style="list-style-type: none">• Temporary patios may be constructed, level with the existing sidewalk elevation, within existing on-street parking stalls at the discretion of the City of North Battleford. Patios/platforms within parking stalls must terminate 400mm before the street side edge of the parking stall that they occupy. See Figure 34.
<ul style="list-style-type: none">• Umbrellas and other projections such as hanging planter boxes may not exceed past the edge of the platform. See Figure 35.
<ul style="list-style-type: none">• Signage on patios must adhere to the City of North Battleford's standards and the guidelines in this document.
<ul style="list-style-type: none">• Temporary planter boxes are encouraged.
<ul style="list-style-type: none">• Railings and fencing are limited to the following materials: prefinished metal, glass, steel, aluminium, cedar and pressure treated wood. Plywood railings/fences/guards are not permitted. See Figure 34.

3.0 Main Street Character Zone (MSCZ):

3.1 Existing Character:

The Main Street Character Zone (MSCZ) as outlined in Figure 12 is located generally along what is now 100th Street within the downtown core of North Battleford. It includes, but is not limited to, lots on both sides of 100th Street from 11th Avenue on the south to 14th Avenue on the north.

Historically, 100th Street was the main vehicular circulation route for visitors coming from the east along Highway 16 to get to the resort communities north of the city. Since the construction of Territorial Drive which guides cottagers and vacationers from the east around the outskirts of the city, much of the traffic normally associated with these visitors has been diverted, leaving 100th Street as a street that predominantly caters to local traffic.

Currently, The Main Street Character Zone is defined by its use as a major local commercial artery connecting Highway 16/Railway Avenue to Highway 4. It is an automobile-oriented streetscape, consisting of a four lane street with parallel parking on either side. Buildings have limited setbacks and are generally greater than one storey in height, creating a grand sense of scale in comparison to other Character Zones. See Figure 13.

North of the Character Zone, 100th Street transforms into a commercial strip with deep front setbacks to allow for vehicular parking. Building typology in this area mainly consists of one storey strip malls, businesses and restaurants. This type of architectural character extends right to the northern limits of North Battleford.

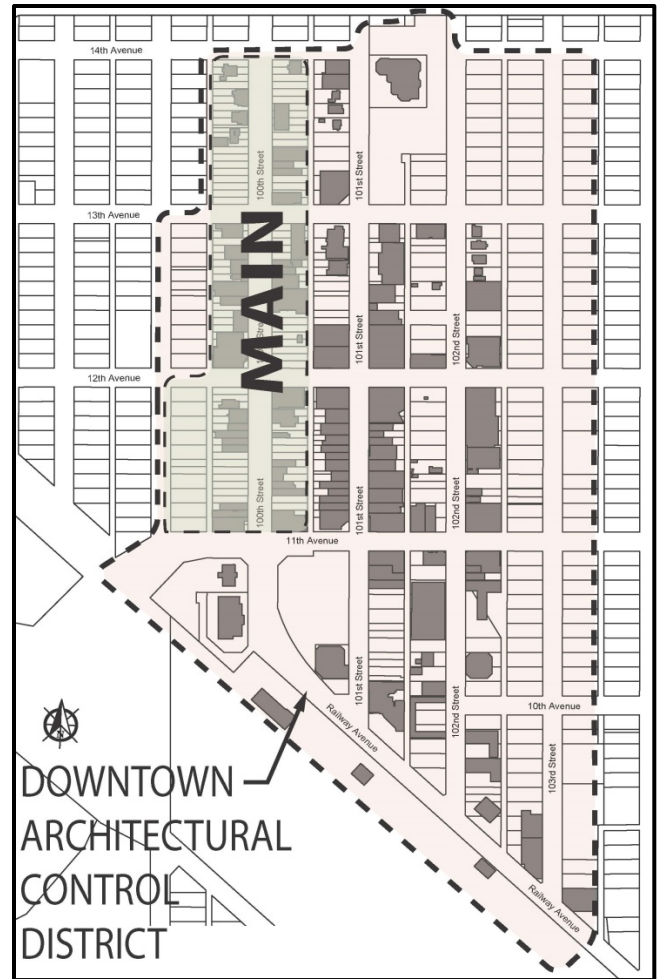


Figure 12: Main Street Character Zone Map

3.2 Existing Proportion, Scale and

Notable Buildings:

The existing proportion and scale of the architecture found within the Main Street character zone includes a combination of one-, two- and three-storey buildings along the 1100 block and subsequently one- and two-storey buildings within the 1200 block area. There are notable gaps in the street wall of this Character Zone as surface parking lots have been introduced where buildings once stood. These parking lots create visual discontinuity between existing buildings but they also offer opportunities for new infill development. (See Fig.14) Building ages vary considerably within this Character Zone.

Figure 13: 100th Street North Battleford (Travis)



A one-day visual building inventory was conducted during the summer of 2015 for areas between 11th and 13th Avenue along 100th street. This visual inventory was based on a previous heritage inventory of downtown buildings obtained from the city of North Battleford's Main Street Saskatchewan application. The Main Street Saskatchewan application data suggested that, at the time, approximately 12% of buildings within the study area were found to be older than 100 years, 52% of the buildings were between 60 and 100 years old (most were 60 to 70 years old), 22% were between 40 to 60 years old and 14% were between 20 to 40 years old. A wide range of architectural styles also exist in this Zone. Styles range from neoclassical to modern, spanning many different eras. The visual review suggested that there has been little in the way of new construction over the past 20 years and that many of the existing buildings could use improvement.



Figure14: Empty Lots on 100th Street

The Character Zone has a mix of retail businesses, offices and some residential use. Building vacancy rates are approximated at 20%. The apparent condition of buildings range from well maintained (see Figure 15) to vacant and in varying states of disrepair (see Figure 16). Notable buildings found along 100th Street include the Beaver Hotel, Capital Theatres, two well preserved large historical buildings at 1132/1142 100th Street and the North Battleford Post Office. There are many other building examples that have historical interest but whose façades have often been heavily modified.

3.3 MSCZ Architectural Guidelines:

The MSCZ is a major gateway into the city's core. Its unique location sets the first impression of downtown North Battleford for visitors entering from the west and north. Building improvements are intended to entice visitors to stop and experience the city's centre. The MSCZ should have its on-street parking retained, recognizing it is both a pedestrian and vehicular realm. The architectural massing of the MSCZ should consist of continuous street walls whose building façades are made with high quality materials and have a height of 2 stories or more to relate to its larger vehicular scale. The building façades should have base levels of glazed storefronts that are well lit, and which contain attractive quality signage and displays that are readily identifiable by passing motorists and pedestrians. These base levels should house a variety of mixed commercial uses, from professional practices, to retail stores and restaurants to complement the existing conditions. Streetscape patios are encouraged. Upper levels of buildings should be occupied by businesses and residential units to increase pedestrian traffic within the MSCZ.

Figure15: Existing Well Maintained Building



The intent of the additional architectural guidelines for this Zone is to help guide improvements to existing buildings and new construction projects, so that they are compatible with the overall architectural aesthetics and theme of the MSCZ as an urban retail, business and service hub. Due to the Character Zone's scale and high frequency of large open lots, the MSCZ is a prime location for future development of office buildings, educational buildings and entertainment-related facilities. The creation of destination buildings to increase attraction to the area and contextually connect the MSCZ to existing and future developments along Railway Avenue East is highly encouraged. As 100th Street is a highly utilized route with access to vacation

destinations north of the city as well as a location for many existing businesses, a new perception of the area created through building investment will greatly assist to revitalize North Battleford's downtown as a whole.

In addition to the requirements found in Section 2 Downtown Architectural Control District, the following guidelines apply to existing buildings and new construction projects within the MSCZ.

3.3.1 Fenestration:

Intent: Architectural guidelines are intended to ensure that fenestration conforms to the proposed MSCZ theme of being an urban retail, business and service hub. As a major commercial artery, fenestration, in particular along the base level of buildings, is required to achieve a high visibility environment, ensuring “eyes on the street” and a central commercial/service orientated identity. Proper fenestration entices commuters/pedestrians into visiting many of the businesses located within the character zone while subsequently promoting safety.

Fenestration is divided into two major categories Windows/Glazing and Exterior Doors/Storefront Entrances.



Figure 16: Vacant Building

Windows and Glazing ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> Glazing is recommended to be clear. 	<ul style="list-style-type: none"> New construction shall incorporate a minimum of 60% clear, storefront glazing on the main floor.
<ul style="list-style-type: none"> Individual glass panes in storefront glazing shall be visually similar to one another in tint and transparency. 	<ul style="list-style-type: none"> Upper level fenestration must orient towards the street and rear of a building.
<ul style="list-style-type: none"> Storefronts are recommended to have a minimum of 60% clear glazing on the main floor. See Figure 20. 	<ul style="list-style-type: none"> Punched window designs shall be used for second and third floor fenestration. Fully glazed assemblies, such as curtain wall assemblies, are permitted above the 3rd floor.
<ul style="list-style-type: none"> The use of reflective glazing is not permitted below the third floor. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings

Doors and Entrances¹	
Existing Buildings	New Construction²
<ul style="list-style-type: none"> - Base level/storefront entrance doors are recommended to be set back from the property line to limit interference with pedestrian circulation 	<ul style="list-style-type: none"> - Base level/storefront entrances shall be set back from the property line to limit interference with pedestrian circulation

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings

3.3.2 Signage, Awnings and Canopies:

Intent: The intent of the following guidelines are to ensure that signage, awnings and canopies within the MSCZ conform to the identity of a mixed pedestrian/vehicular realm and that an overall consistent base quality is achieved throughout the character zone. Signage is intended to be readily visible to passing motorists to order to help attract visitors to stop, shop and play within North Battleford’s downtown. The zoning bylaw of North Battleford sets regulations for signage in commercial districts (see 4.10.8 of the North Battleford Zoning Bylaw). It is the intent of the architectural guidelines to create additional limits on signage so that signage complies with the overall theme of the MSCZ as an urban retail, business and service hub.

Signage, Awnings and Canopies¹	
Existing Buildings	New Construction²
<ul style="list-style-type: none"> • Existing signage on buildings is encouraged to be upgraded so that it is readily identifiable by passing motorists. 	<ul style="list-style-type: none"> • Building designs shall incorporate areas within their façade that are intended for signage. These areas shall be considerate of the existing patterns found on neighbouring buildings. See Figure 19.
<ul style="list-style-type: none"> • New signage on buildings is required to be readily identifiable by passing motorists 	
<ul style="list-style-type: none"> • Avoid blocking storefront window displays with signage. See Figure 17. 	
<ul style="list-style-type: none"> • Blocking upper storey windows with signage is not permitted. 	
<ul style="list-style-type: none"> • Primary signs are recommended for placement horizontally within areas intended for signage, These areas should be located between the tops of storefront windows and window sills of the storey above or tops roof parapets on one storey buildings. See Figure 19. 	
<ul style="list-style-type: none"> • Signs shall be limited to a maximum of 1 horizontal fascia sign, in addition to 1 blade sign. Corner lots along 12th Avenue are permitted to have a maximum of 1 fascia sign and 1 blade sign per façade or per occupancy – whichever is greater. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings



Figure 17: Excessive Signage (Daily Speculations)

3.3.3 Materiality:

Intent: Ensuring that existing materials are complementary to the overall theme of the MSCZ as an urban retail, business and service hub are the primary intentions of the following architectural guidelines. The use of warm coloured masonry materials such as brick or stone is required to ensure an improved complementary material pallet between building façades.

Materiality ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> The use of stucco to cover existing masonry is not permitted. See Figure 19. 	<ul style="list-style-type: none"> Warm and durable cladding materials such as brick or stone are required.
<ul style="list-style-type: none"> Accent materials are recommended to consist of no more than 20% of the total area of a façade. 	<ul style="list-style-type: none"> Permitted accent materials include durable Masonry, Cement Board, Metal Siding, Composite Wood and shall not cover an area of more than 20% of the total area of a façade. See Figure 21.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings

3.3.4 Lighting:

Intent: The intent of these guidelines is to ensure that façade and building lighting enhances the public realm. Lighting should be complementary to a façade’s aesthetic and overall architectural style. Additional lighting requirements are recommended and intended to improve safety, marketability and the aesthetic characteristics of a building’s façade within the corresponding streetscape. Within the MSCZ, façade and building lighting is of particular importance in winter months as it can create a pleasant and inviting atmosphere. The introduction of mandatory façade lighting within the Main Street Character Zone for New Construction will ensure that a safe and inviting atmosphere is created over time.

Lighting ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> The base level/storefront of a façade is recommended to be downlit with evenly distributed lighting. See Figure 18. 	<ul style="list-style-type: none"> The base level/storefront of a façade shall be downlit with evenly distributed down lighting. See Figure 18.
<ul style="list-style-type: none"> New building canopies should contain recessed down lighting. 	<ul style="list-style-type: none"> Building canopies shall contain recessed down lighting or decorative lighting.
<ul style="list-style-type: none"> New awnings shall be internally lit or be downlit with evenly distributed decorative lighting. See Figure 19. 	<ul style="list-style-type: none"> Awnings shall be internally lit or be downlit with evenly distributed decorative lighting.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 18: Evenly Distributed Down Lighting Example (GooseneckLight.com)

3.3.5 Colour:

Intent: The intent of the following guidelines is to ensure that warm colours are used within building façades to enhance the overall identity of the MSCZ as an urban retail, business and service hub. Warm colours that are found in masonry façades can help to create an inviting atmosphere. Accent colours are intended be used to subtly highlight detail components thus creating a formal and cohesive architectural character between façades.

Colour ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> Building street façades are encouraged to contain more than two main colours. This does not include colours of the roof, fenestration and colours on the side or rear of the building. 	<ul style="list-style-type: none"> Building façades shall consist of more than two main colours. This does not include colours of the roof, fenestration and colours on the rear of a building.
<ul style="list-style-type: none"> Accent colours are encouraged to be subtly different and complementary in relation to primary façade colours. 	<ul style="list-style-type: none"> Accent colours shall be subtly different and complementary in relation to primary façade colours.
<ul style="list-style-type: none"> Primary façade colours are recommended to consist of warm earth tones. (Example: red brick, yellow brick, warm brown brick, beige stone) 	<ul style="list-style-type: none"> Primary façade colours shall consist of warm earth tones. (Example: red brick, yellow brick, brown brick, beige stone)
<ul style="list-style-type: none"> The use of colour to increase the architectural aesthetics of a building façade is encouraged. Colour should create a warm and attractive environment that benefits the streetscape, especially in winter. 	
<ul style="list-style-type: none"> Enhancing monochromatic colour schemes on existing façades is encouraged. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

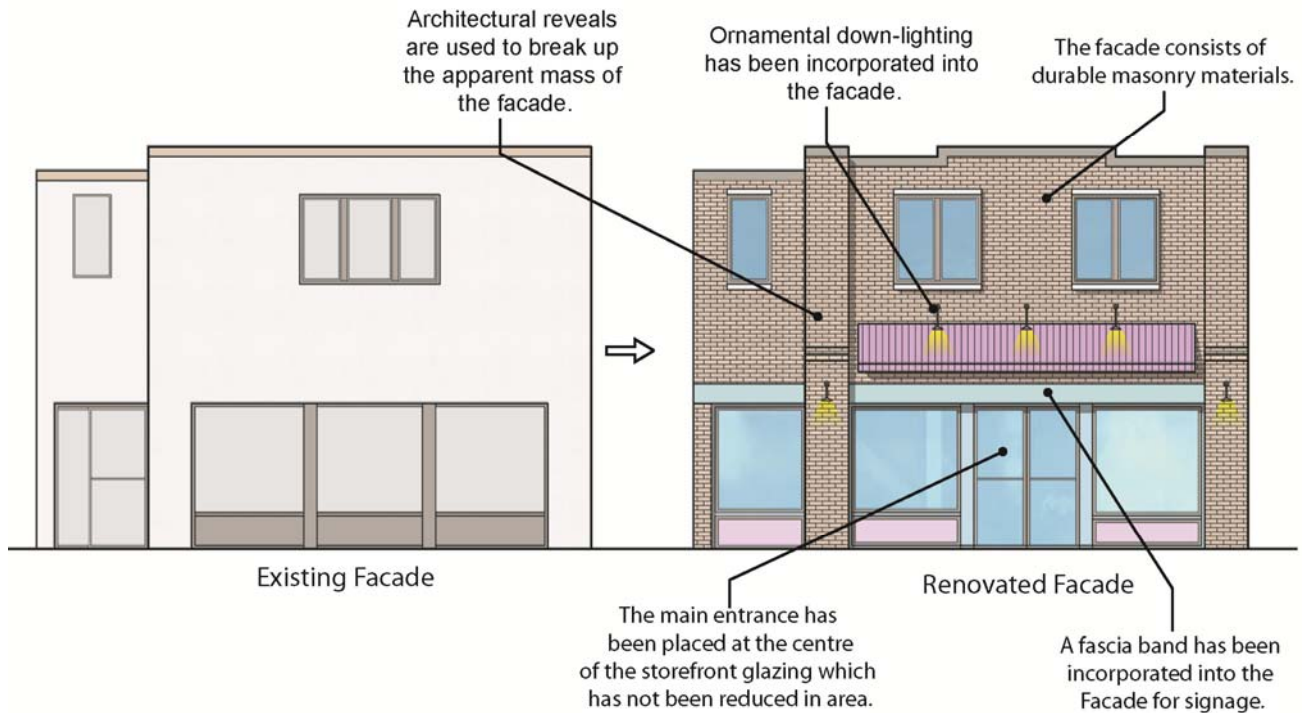


Figure19: Major Façade Renovation to an Existing Building

3.3.6 Roofs:

Intent: The intent of the guidelines below is to ensure that complementary roof types are used in the MSCZ to ensure a consistent building identity while not limiting designs by imposing overtly strict regulations. The vast majority of buildings within the Main Street Character zone have low-slope roofs hidden from street view. This creates a strong commonality between buildings and any future development is encouraged to maintain this consistency.

Roofs ^{1,2}	
Existing Buildings ²	New Construction ³
<ul style="list-style-type: none"> When performing minor repairs of a roof, colour schemes and replacement materials must match existing materials, or be complementary to existing materials if they are visible from the street. 	<ul style="list-style-type: none"> Roofs shall be concealed from the street through the use of architectural elements such as parapets.
<ul style="list-style-type: none"> Roofs are encouraged to be concealed from the street through the use of architectural elements such as parapets. 	<ul style="list-style-type: none"> Low sloped roofs are encouraged to maintain consistency with the existing built form of the character zone.

¹Guidelines apply to portions of a roof that are visible from the street.

²These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

³Guidelines apply in addition to the guidelines for Existing Buildings.

3.3.7 Site Coverage and Massing:

Intent: The intent of the following guidelines is to ensure that building massing within the MSCZ complies with the zones unique character of a vehicular and pedestrian oriented urban retail, business and service hub. Recognizing the larger scale of the MSCZ, building street walls are to be allowed to a maximum height of three storeys. See Figure 20 and 21. Above three storeys buildings are to step back a minimum of 2 meters to a maximum height as allowed by the zoning bylaw.

Massing ¹	
Existing Buildings.	New Construction ²
<ul style="list-style-type: none"> • Additions to existing buildings that add additional floors shall step back a minimum of 2 meters above 3 storeys. 	<ul style="list-style-type: none"> • Building street walls shall step back a minimum of 2 meters from the property line above 3 storeys.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

3.3.8 Outdoor Street Patios (applies to properties along 12th Avenue only):

Intent: In order to encourage a vibrant streetscape in summer months temporary street patios are encouraged. The patios are intended to promote adaptive seasonal use of 12th Avenue allowing business owners to capitalize on the unique pedestrian character found along that street. The following guidelines are intended to guide acceptable best practice standards for temporary on-street patios.

Outdoor Temporary Street Patios
<ul style="list-style-type: none"> • Temporary patios shall be durably constructed with platforms built constructed with exterior grade lumber.
<ul style="list-style-type: none"> • Temporary patios shall be equipped with ramps as necessary to meet the accessibility standards found in the National Building Code of Canada (current edition).
<ul style="list-style-type: none"> • Temporary patios must be maintained in an orderly and clean appearance at all times.
<ul style="list-style-type: none"> • Railings shall meet National Building Code standards on all sides facing the street and must be at minimum 1070mm from the floor and securely attached to the base.
<ul style="list-style-type: none"> • Temporary patios may not impede existing drainage.
<ul style="list-style-type: none"> • Temporary patios may be constructed, level with the existing sidewalk elevation, within existing on-street parking stalls at the discretion of the City of North Battleford. Patios/platforms within parking stalls must terminate 400mm before the street side edge of the parking stall that they occupy. See Figure 34.
<ul style="list-style-type: none"> • Umbrellas and other projections such as hanging planter boxes may not exceed past the edge of the platform. See Figure 35.
<ul style="list-style-type: none"> • Signage on patios must adhere to the City of North Battleford's standards and the guidelines in this document.
<ul style="list-style-type: none"> • Temporary planter boxes are encouraged.
<ul style="list-style-type: none"> • Railings and fencing are limited to the following materials: prefinished metal, glass, steel, aluminium, cedar and pressure treated wood. Plywood railings/fences/guards are not permitted. See Figure 34.

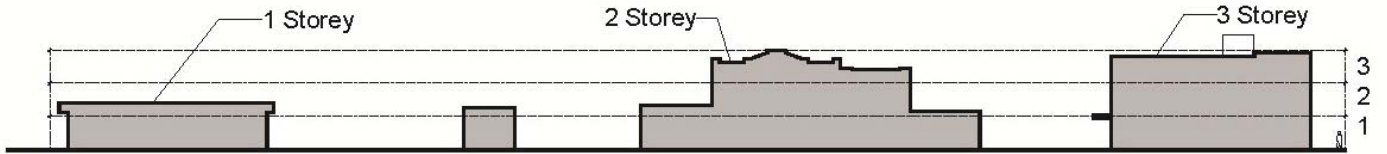


Figure 20: Existing Massing 100th Street, 1100 Block East

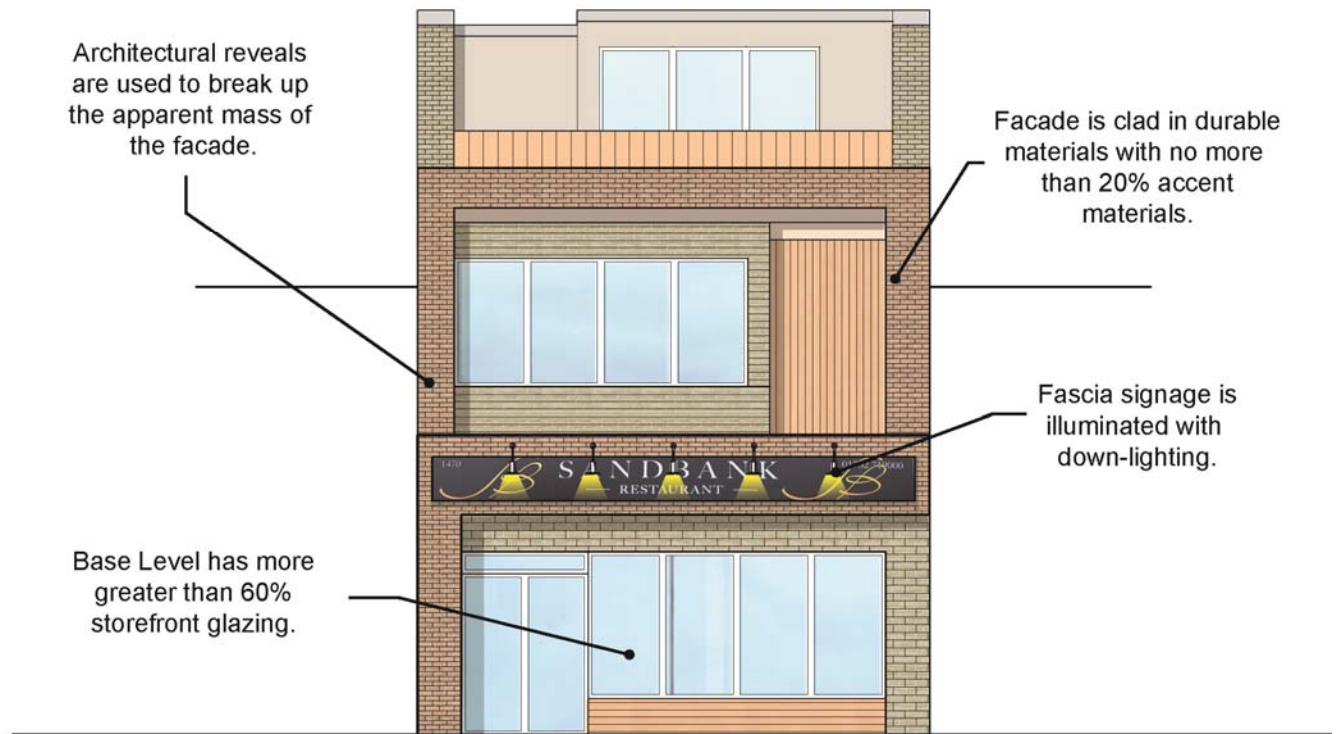


Figure 21: New Construction MSCZ

4.0 King Street Character Zone (KSCZ):

4.1 Existing Character:

The King Street Character Zone is located along what is now 101st Street within the downtown core of North Battleford. It consists of approximately 1.5 blocks of 101st Street running north from 11th Avenue on the south and terminating mid-block between 12th and 13th Avenues. The northern-most property included in this zone is seven lots south of 13th Avenue adjacent the southern boundary of the Civic Character Zone (as outlined in Figure 22).

101st Street (previously known as King Street West) was traditionally the city's main commercial street and a centre for civic events such as parades. Its status has declined, although it does still house important municipal buildings and financial services. The street appears to have been, for many years, the retail core of North Battleford and the guidelines applied to the character zone are intended to reflect this.

The King Street Character Zone is defined by its pedestrian scale qualities such as its continuous street wall and relatively narrow street width, which, when combined, creates a welcoming sense of enclosure. It is a major part of the historical retail centre for North Battleford and is the current location of many of the financial institutions within the city.

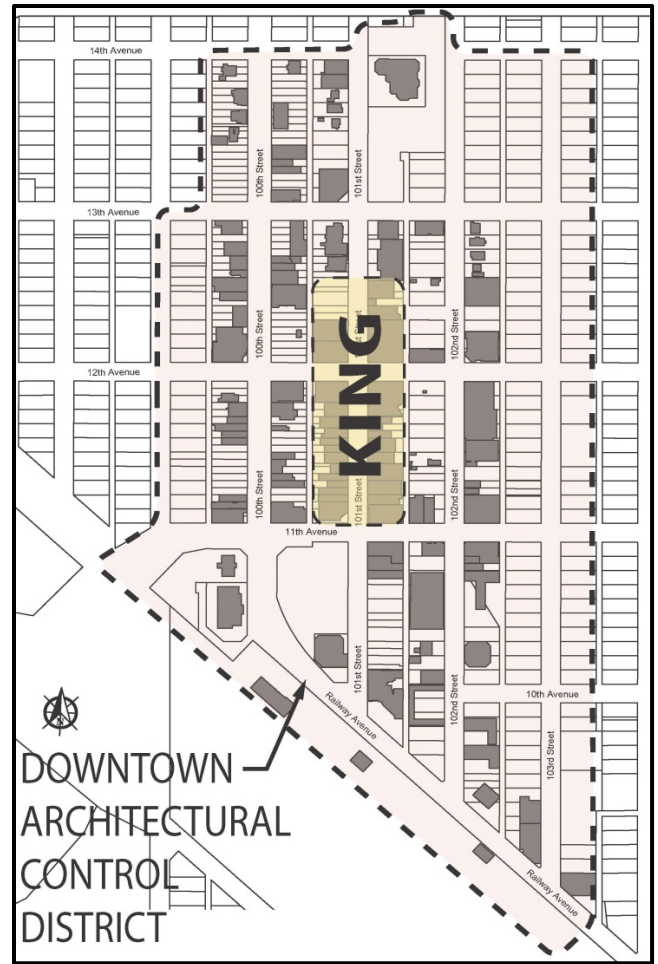


Figure 22: King Street Character Zone Map

The zone typically consists of one- and two- storey commercial buildings with storefront glazing and limited setbacks. There is a diverse array of buildings in various conditions, some dating from the commencement of the city of North Battleford (See Figure 23), however, the King Street Character Zone differs from the Main Street Character Zone in its form and its functional qualities. 100th Street is a major traffic artery, with its width and traffic volume creating a physical barrier to pedestrians. This barrier is much less prominent on 101st Street within the King Street Character Zone.

SEPW Architecture Inc. conducted a one-day visual building inventory during the summer of 2015 between 11th and 12th Avenue on 101st street. The visual inventory built-upon information from a previous inventory found within the city of North Battleford's Main Street Saskatchewan application. The Main Street Saskatchewan application indicated building ages within the study area varied greatly; approximately 26% of the buildings in the study area were over 100 years old; 30% were between 80 and 100 years old, 22% were between 60 and 80 years old, 17% were between 40 and 60 years old and 5% were under 40 years old. It was also noted that building vacancy rates were approximately 34% within the study area. During the summer of 2015 it was noted that a few buildings were vacant. There is a significant amount of heritage potential in the character zone, but only a few of the buildings of heritage

Figure 23: Existing Vacant Building of Historical Interest.



interest have façades that have not been extensively modified.

4.2 Existing Proportion, Scale and Notable Buildings:

The existing streetscape within the King Street Character Zone consists of a combination of one- and two-storey buildings. See Figure 25. A large modern office tower of eight stories sits at the south west corner of the character zone. The streetscape on either side is consistent, with no setbacks between buildings resulting in a continuous series of adjoined façades. Notable buildings found within the character zone include the RBC Building (1101-101st Street) and the former Hudson's Bay Department Store building (1192-101st Street). See Figure 24. 101st street also contains notable historic buildings of interest in various conditions that date back to the early formation of North Battleford's Downtown. These include but may not be limited to 1122-101st Street and 1141-101st Street. Outside of the study area, along 101st Street, other significant buildings include, 1080/1092-101st Street, City Hall (1291-101st Street) and the North Battleford Library found at 1392-101st Street.



Figure 24: Former Department Store 101st Street.

4.3 KSCZ Architectural Guidelines:

In addition to the requirements found in Section 2 Downtown Architectural Control District the KSCZ guidelines that follow apply to existing buildings and new construction projects within this particular zone.

The KSCZ zone is a major portion of the heart of North Battleford's downtown. Its pedestrian qualities should be reinforced, to create a young and vibrant pedestrian retail and after-hours destination. Façades should reflect a different vibrancy and character than other zones. The material and design considerations found within these guidelines are therefore intended to result in a comfortable pedestrian-oriented environment which is safely active after regular business hours.

These guidelines are also intended to encourage infill and renovations that complement, but not mimic, the existing building stock to improve and modernize the overall aesthetic of this Character Zone. There should also be a major emphasis of incorporating well lit awnings and canopies to further promote pedestrian life on the street though the creation of a greater sense of enclosure and protection from the elements. This is especially necessary during the long winter months where warmly lit covers would attract visitors.



Figure 25: Existing Buildings - 101st Street

A number of different business types currently exist within the KSCZ and building improvements will hopefully promote an even greater variety, many of whom, like restaurants and cafes, should contribute greatly to pedestrian street activity. These businesses should be encouraged to spill out onto the sidewalk to help integrate the pedestrian focus of the zone.

Upper floors of buildings should be encouraged to house residential units, in order to establish a presence of citizens at all hours with a direct connection to the street below.

The intent of these architectural guidelines is therefore to assist the improvement of existing buildings and to guide new construction projects, so that they are compatible with the overall architectural aesthetic and theme of the King Street

Character Zone.

Encouraging the re-establishment of the King Street Character Zone as a major retail and after-hours destination within the city of North Battleford and areas beyond is therefore a primary goal of these guidelines.

4.3.1 Fenestration:

Intent: Architectural guidelines are intended to ensure that fenestration conforms to the proposed KSCZ theme of being a vibrant prime pedestrian retail destination. Fenestration, in particular along the base level/storefront of buildings, is paramount to achieving a high visibility environment, ensuring “eyes on the street” and a consistent retail identity. Proper fenestration entices pedestrians into visiting many of the businesses located within the character zone while subsequently promoting safety. Fenestration is divided into two major categories Windows/Glazing and Exterior Doors/Storefront Entrances.

Windows and Glazing ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> • Storefronts are recommended to have a minimum of 75% glazing of the ground floor façade area. See Figure 27. 	<ul style="list-style-type: none"> • New construction shall incorporate a minimum of 75% storefront glazing on the ground floor.
<ul style="list-style-type: none"> • Dark tinted and reflective glazing is not recommended. 	<ul style="list-style-type: none"> • Upper level fenestration shall orient towards the street and rear of a building.
<ul style="list-style-type: none"> • Storefront glazing is recommended to be clear and well lit at all times. See Figure 26. 	<ul style="list-style-type: none"> • Storefronts shall contain clear glazing.
<ul style="list-style-type: none"> • Retail occupancies are encouraged to incorporate displays in windows facing the street. 	<ul style="list-style-type: none"> • Punched window designs shall be used for second and third floor fenestration. Fully glazed assemblies, such as curtain wall assemblies, are permitted above the 3rd floor.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 26: Good Storefront Lighting Design (Hennessy Lighting Design)

Doors and Entrances ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> • Reflective and opaque glazing in doors and entrances is not permitted. 	<ul style="list-style-type: none"> • Storefront entrances shall be set back from the property line to limit interference with pedestrian circulation.
<ul style="list-style-type: none"> • It is encouraged that storefront entrances are set back from the property line to limit interference with pedestrian circulation. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

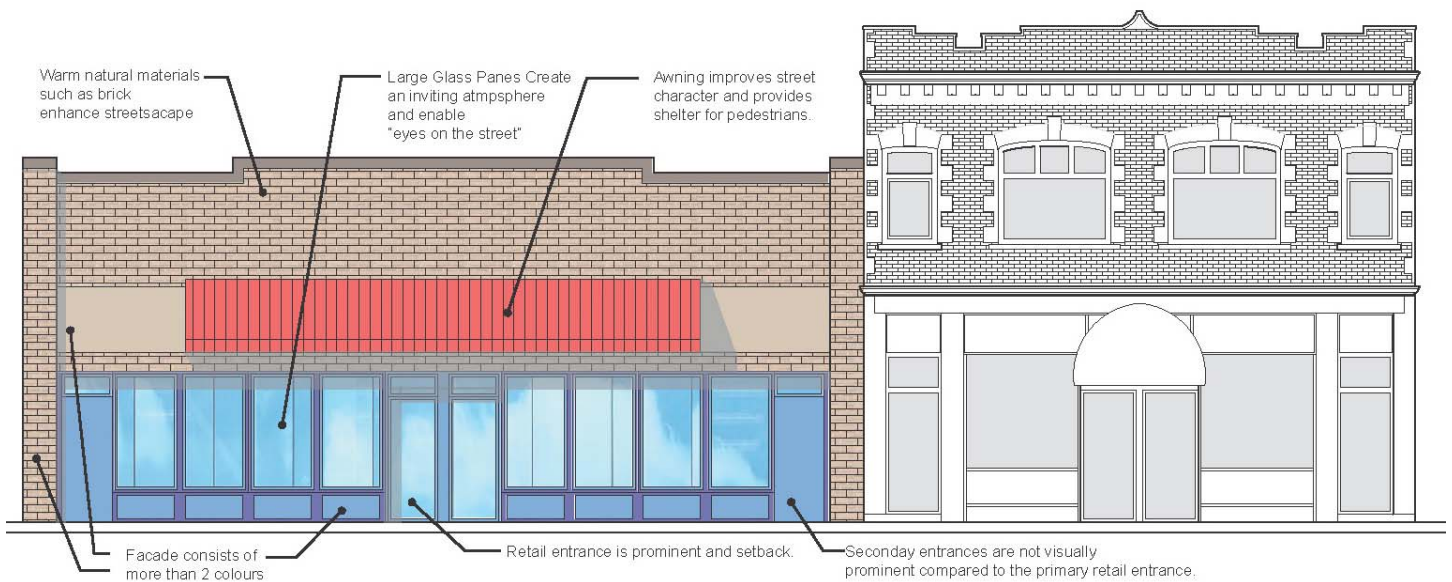


Figure 27: Newly Renovated Façade KSCZ

4.3.2 Signage, Awnings and Canopies:

Intent: The intent of the following guidelines is to ensure that signage, awnings and canopies within the KSCZ conform to the identity of a vibrant pedestrian oriented prime retail destination. Signage is intended to have some degree of conformity in façade placement between individual businesses. Vibrantly coloured awnings are recommended, along with a combination of vertical and horizontal signs to improve the zones marketability. The current zoning bylaw of North Battleford sets additional regulations for signage in commercial districts.

Note: Refer to the Zoning By-Law for existing signage regulations



Figure 28: Example of Good Exterior Lighting, Signage and Fenestration. (Corner Bakery Cafe)

Signage, Awnings and Canopies¹	
Existing Buildings	New Construction²
<ul style="list-style-type: none"> Primary signs are limited to no more than one sign applied to the building face in addition to one blade sign. Corner lots along 12th Avenue are permitted to have a maximum of 1 fascia sign and 1 blade sign per façade or per occupancy – whichever is greater. 	<ul style="list-style-type: none"> One perpendicular (blade) sign is required
<ul style="list-style-type: none"> Perpendicular (blade) signs are encouraged. 	<ul style="list-style-type: none"> Businesses shall provide protection from rain and snow in the form of an awning and/or canopy that projects a maximum of 1.4 meters from a building face with a minimum vertical clearance of 3 meters.
<ul style="list-style-type: none"> Down-Lit signage and backlit raised letter signage are encouraged. See Figure 28. 	
<ul style="list-style-type: none"> Backlit box signage is discouraged. 	
<ul style="list-style-type: none"> Businesses are recommended to provide protection from rain and snow in the form of an awning and/or canopy that projects a maximum of 1.4 meters from a building face with a minimum clearance of 3 meters from ground. 	
<ul style="list-style-type: none"> Lighting and other attachments within an awning must be securely attached to the awning frame in a fashion that is complementary to the buildings overall architectural style. 	
<ul style="list-style-type: none"> Awning and canopies that incorporate signage and improve the architectural aesthetic of the building façade are encouraged. See Figure 29. 	
<ul style="list-style-type: none"> Blocking upper storey windows with signage is not permitted. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 29: Example of Multiple Coloured Awnings (Viewpictures.co.uk)

4.3.3 Materiality:

Intent: Ensuring that existing materials are complementary to the overall theme of the KSCZ as a vibrant prime pedestrian retail destination are the primary intentions of the following architectural guidelines. Buildings façades are encouraged to utilize a creative pallet of high quality durable materials and/or to restore original brick masonry façades on Buildings of Heritage Interest in order to create a vibrant, safe and pedestrian friendly architectural character.

Materiality ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> Unless the building is considered to be of Heritage Interest, modernizing a building's exterior façade is encouraged. 	<ul style="list-style-type: none"> Durable materials such as masonry shall be used at minimum for the first 750mm of a base level. This does not apply to fenestration.
<ul style="list-style-type: none"> Durable materials for the first 750mm of a base level are recommended (not including the use of fenestration). 	
<ul style="list-style-type: none"> The use of stucco is permissible as long as it is not the primary cladding material. 	
<ul style="list-style-type: none"> Replacement/removal of stucco with quality materials or to expose existing masonry is encouraged. 	
<ul style="list-style-type: none"> Wood may be used for accent materials and trim materials. 	
<ul style="list-style-type: none"> Recommended primary cladding materials include glass, masonry, cement board and prefinished metal siding and panels. 	

¹These guidelines apply in *addition to and may supersede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 30: Colourful Street Façades (jathanandheather.com)

4.3.4 Lighting:

Intent: The intent of the guidelines is to ensure that the façade and building lighting enhances the public realm and that it create a safe atmosphere for pedestrians at all time of day and year. Lighting is intended to be used to highlight architectural elements and window displays. Lighting should be complementary to a façade’s aesthetic and overall architectural style, however consistency in style between adjacent properties is not required. Vibrancy and varied character is encouraged. Within the KSCZ façade and building lighting is of particular importance in winter months as it can create a pleasant and inviting atmosphere.

Lighting ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> The base level/storefront of a façade is recommended to be down-lit with subtle lighting of columns and/or pilasters. 	<ul style="list-style-type: none"> The base level/storefront of a façade shall be down-lit with evenly distributed lighting which places subtle emphasis on architectural elements such as pilasters.
<ul style="list-style-type: none"> Signage is recommended to be illuminated with down lighting. 	<ul style="list-style-type: none"> Canopies shall contain recessed lighting or decorative lighting.
<ul style="list-style-type: none"> Lighting design improvements such as the addition of lights with ornamental arms, or lighting that improve the aesthetic characteristics of a storefront façade are recommended. See Figure 31. 	<ul style="list-style-type: none"> New building designs shall incorporate creative window display lighting.
<ul style="list-style-type: none"> New exterior lighting shall be dark sky compliant. 	
<ul style="list-style-type: none"> The use of warm coloured lighting is encouraged. 	
<ul style="list-style-type: none"> Awnings shall either be lit internally or lit with evenly distributed decorative down lighting. 	
<ul style="list-style-type: none"> Canopies should contain recessed lighting or be lit with evenly distributed decorative down lighting. 	
<ul style="list-style-type: none"> Businesses are encouraged to create interesting window displays that are creatively illuminated at night. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 31: Down lighting on Blade Sign (Birddog Distributing, Inc.)

4.3.5 Colour:

Intent: The intent of the following guidelines is to ensure that vibrant colours are utilized for new or renovated building façades to enhance the overall identity of the KSCZ as a young, vibrant prime pedestrian/retail/after hours destination. Buildings of Heritage Interest are encouraged to rejuvenate their existing warm coloured masonry façades to provide a strong historic base to support their new more modern neighbours. Accent colours are encouraged to highlight elements on façades to create an interesting and vibrant aesthetic in the KSCZ.

Colour¹	
Existing Buildings	New Construction²
<ul style="list-style-type: none"> Fully monochromatic colour schemes are permitted. 	<ul style="list-style-type: none"> Designs shall utilize a creative use of colour within a building's façade to enhance the vibrant pedestrian architectural aesthetic of the KSCZ.
<ul style="list-style-type: none"> Creative uses of colour on a façade are encouraged to enhance the vibrancy of the Character Zone . 	
<ul style="list-style-type: none"> Color selection is not limited. See Figure 30 and 32. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 32: Example of Coloured Façades (travelimpresarios.com)

4.3.6 Roofs:

Intent: The intent of the following guidelines is to ensure that complementary roof systems are used within the KSCZ to achieve visual consistency when viewed from the street below. In order to maintain and improve upon the existing character of built form, new buildings above three stories are required step back and to utilize parapets to conceal roofs above that level.

Roofs ¹	
Existing Buildings	New Construction ²
<ul style="list-style-type: none"> Provide architectural elements such as parapets to conceal roofs from being viewed from the street. These elements must be respectful of the existing roof/parapet conditions of adjoining buildings. 	<ul style="list-style-type: none"> Restrictions to roof type do not apply to portions of a building above three storeys that step back as per the massing guidelines below.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

4.3.7 Site Coverage and Massing

Intent: The intent of the following guidelines is to ensure that building massing within the KSCZ complies with the zone's unique character as a vibrant prime pedestrian retail destination. See Figure 33. Recognizing the need for pedestrian scaled façades within the KSCZ, new building street walls shall be a maximum of three storeys. Above three storeys, buildings are to step back a minimum of 2 meters to allow for a complementary continuation of the existing architectural character. See Figure 33.

Massing ¹	
Existing Buildings	New Construction ²
Additions to existing buildings above three storeys shall step back 2.0m.	<ul style="list-style-type: none"> New buildings shall step back 2.0 metres from the face of the front façade above three stories to allow for a continuation of the existing architectural character.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

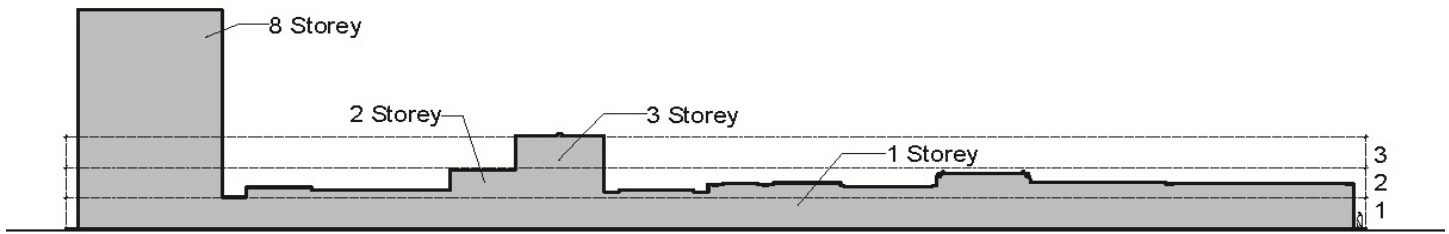


Figure 33: Existing Massing 101st Street, 1100 Block West, KSCZ

4.3.8 Outdoor Street Patios:

Intent: In order to encourage a vibrant streetscape in summer months temporary street patios are encouraged. The patios are intended to promote adaptive seasonal use of the King Street Character Zone allowing business owners to capitalize on the unique pedestrian character found along 101st street. The following guidelines are intended to guide acceptable best practice standards for temporary on-street patios.

Outdoor Temporary Street Patios
<ul style="list-style-type: none"> • Temporary patios shall be durably constructed with platforms built constructed with exterior grade lumber.
<ul style="list-style-type: none"> • Temporary patios shall be equipped with ramps as necessary to meet the accessibility standards found in the National Building Code of Canada (current edition).
<ul style="list-style-type: none"> • Temporary patios must be maintained in an orderly and clean appearance at all times.
<ul style="list-style-type: none"> • Railings shall meet National Building Code standards on all sides facing the street and must be at minimum 1070mm from the floor and securely attached to the base.
<ul style="list-style-type: none"> • Temporary patios may not impede existing drainage.
<ul style="list-style-type: none"> • Temporary patios may be constructed, level with the existing sidewalk elevation, within existing on-street parking stalls at the discretion of the City of North Battleford. Patios/platforms within parking stalls must terminate 400mm before the street side edge of the parking stall that they occupy. See Figure 34.
<ul style="list-style-type: none"> • Umbrellas and other projections such as hanging planter boxes may not exceed past the edge of the platform. See Figure 35.
<ul style="list-style-type: none"> • Signage on patios must adhere to the City of North Battleford's standards and the guidelines in this document.
<ul style="list-style-type: none"> • Temporary planter boxes are encouraged.
<ul style="list-style-type: none"> • Railings and fencing are limited to the following materials: prefinished metal, glass, steel, aluminium, cedar and pressure treated wood. Plywood railings/fences/guards are not permitted. See Figure 34.



Figure 34: Temporary Patio Example 1 (DNAinfo - Julia Shapiro)



Figure 35: Temporary Patio Example 2 (trendpool)

5.0 Civic Character Zone (CCZ):

5.1 Existing Character

The Civic Character Zone (CCZ) as outlined in Figure 36 focuses on the intersection of 13th Avenue and 101st Street. The Character Zone includes the six northern most lots on either side of 101st Street and continues north to 14th Avenue. The lot on the south-west corner of the intersection of 102nd Street and 13th Avenue is also included in this zone. In the east-west direction the zone covers an area between 102nd Street on the east and the lane between 100th Street and 101st Street on the west.

The CCZ identifies an ideal location to develop a Character Zone based off a civic inspired architectural aesthetic. There exists a clear transition from the urban character of the downtown area to the single detached dwelling character of residential North Battleford at the intersection of 101st Street and 14th Avenue. The North Battleford Library, adjacent park grounds and the Third Avenue United Church have a strong visual relationship with North Battleford's City Hall. When viewed together, they clearly identify the termination of 101st Street's commercial character and present a civic identity which should be reinforced.

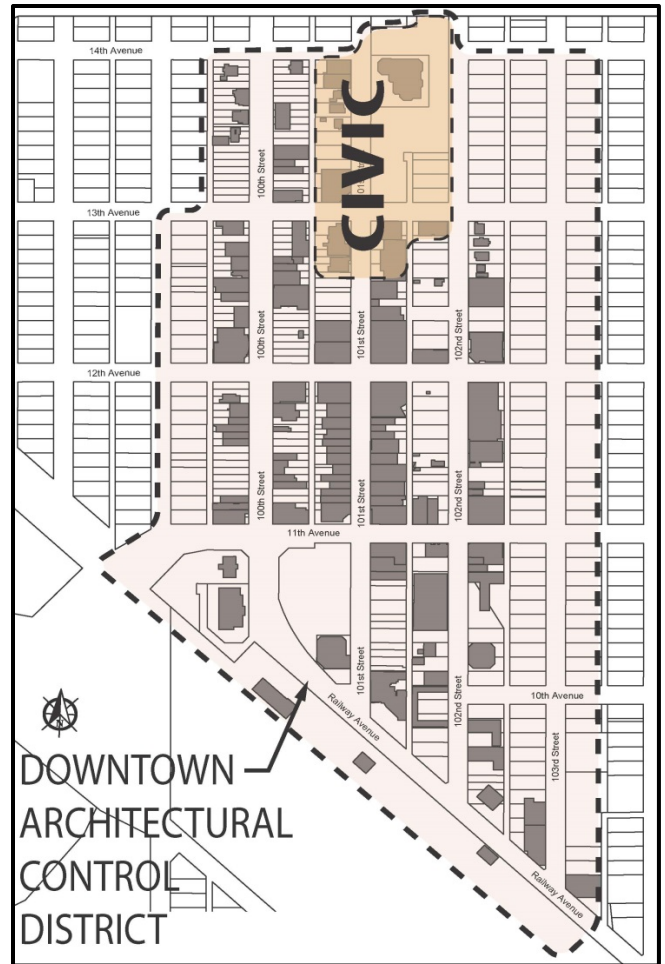


Figure 36: Civic Character Zone Map

5.2 Existing Proportion, Scale and Notable Buildings

The existing proportion and scale of the architecture found within the CCZ consists of one and two storey buildings that primarily serve as municipal, office, religious and retail buildings. A few single detached dwellings exist north of 13th Avenue. The corner of 101st Street and 13th Avenue contains two modern brown brick buildings; North Battleford City Hall and Parkview Square which combined create a strong municipal identity. The open space in front of these office buildings helps to solidify this relationship. The Library park grounds on the northwest corner serve as open public space further enhancing the municipal aesthetic (See Figure 38) but the existing mall on the southwest corner appears out of place (see Figure 37). The one storey strip mall is setback from 101st Street creating a sense of disconnection from the character of the intersection and also from the urban character of 101st Street.

Figure 37: Restaurant Opposite to City Hall (Tripadvisor)



5.3 CCZ Architectural Guidelines

The CCZ should portray a celebration of civic pride through the further development of civic inspired architecture. The unique identity which already exists to some degree should be reinforced - without imposing forced changes on existing buildings - but by setting guidelines to eventually reinforce and improve the identity of the municipal area should occur. Future buildings should follow the existing character of masonry buildings that are built to the property line to assist in enhancing the scale of the CCZ. Buildings that are situated on the corner of 101st Street and 13th Avenue should contain open plaza space on their street sides inspired by the existing built form. Promoting new buildings on corner sites to provide a plaza area will help demarcate the municipal zone of the downtown and provide a welcoming atmosphere in which citizens of North Battleford can engage with the municipality's public services.

In addition to the requirements found in Section 2 Downtown Architectural Control District, the following guidelines apply to existing buildings and new construction projects within the CCZ.

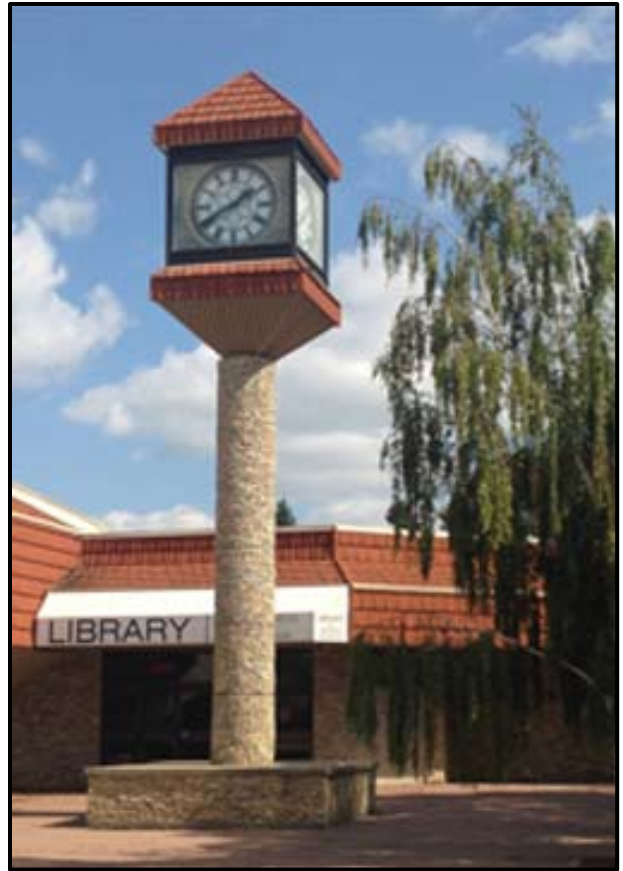


Figure 38: North Battleford Library (Battlefords.ca)

5.3.1 Fenestration:

Intent: The intent of the architectural guidelines within the CCZ is to ensure that patterns of openings of doors and windows should reinforce the civic aesthetic of the Character Zone. Doors and windows should relate to or be inspired from the existing buildings to complete a visually unified built environment. Entrance ways and doors shall utilize transparent glazing to promote an inviting environment and to ensure “eyes on the street” to help to promote increased safety in downtown North Battleford.

Fenestration is divided into two major categories Windows/Glazing and Exterior Doors/Storefront Entrances.

Windows and Glazing ^{1,2}	
Existing Construction	New Construction ³
<ul style="list-style-type: none"> Retrofitting main floor levels of buildings with clear glazing is recommended. 	<ul style="list-style-type: none"> Main floor levels of buildings shall incorporate a minimum of 50% wall area of clear, storefront glazing.
<ul style="list-style-type: none"> Upper level window replacements are recommended to draw inspiration from neighbouring buildings and the civic nature of the Character Zone. 	<ul style="list-style-type: none"> Upper level fenestration patterns and assemblies shall draw inspiration from neighbouring buildings and the civic nature of the Character Zone.
	<ul style="list-style-type: none"> Fully glazed wall assemblies are permitted on all floors.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to these guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.

Doors and Entrances^{1,2}	
Existing Construction	New Construction³
<ul style="list-style-type: none"> Doors and Entrances are encouraged to utilize clear transparent glazing to create an inviting atmosphere. 	<ul style="list-style-type: none"> Doors and Entrances are required to utilize clear transparent glazing to create an inviting atmosphere.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.

5.3.2 Signage, Awnings and Canopies:

Intent: The intent of additional regulations for signage within the CCZ is to guide new signs on buildings to adhere to the civic inspired aesthetic of the character zone. Signage should be subdued and formal. See Figure 39. Signage should also avoid being too brightly lit or overbearing in order to reinforce the identity of the Character Zone. Refer to the City of North Battleford’s Zoning Bylaw for additional requirements.

Signage, Awnings and Canopies	
Existing Construction	New Construction³
<ul style="list-style-type: none"> Signs are recommended to be made of raised lettering. 	<ul style="list-style-type: none"> New buildings must ensure that an area above the primary entrance is created for signage.
<ul style="list-style-type: none"> Backlit box signs are not recommended 	<ul style="list-style-type: none"> Backlit box signs are not permitted.
<ul style="list-style-type: none"> Signage shall include the respective building’s civic address. 	<ul style="list-style-type: none"> Buildings shall only contain one primary sign.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 39: Raised Lettering Signage Example (KBPS Castaneda Leo)

5.3.3 Materiality:

Intent: Cladding materials within the civic character zone should consist of masonry materials that utilize reveals and subtle transitions in materiality to further reinforce the Character Zones identity. See Figure 40.

Materiality^{1,2}	
Existing Construction	New Construction³
<ul style="list-style-type: none"> • Use of masonry (such as brick veneer, concrete block veneer, or stone veneer) and/or prefinished metal panels are recommended. 	<ul style="list-style-type: none"> • Façade materials shall be predominantly glass, masonry (brick veneer, concrete block veneer or stone veneer) and/or prefinished metal panels.
<ul style="list-style-type: none"> • Utilizing stucco as a cladding material is not recommended. 	<ul style="list-style-type: none"> • No more than 25% of a façade shall be stucco.
	<ul style="list-style-type: none"> • Façades shall utilize changes in relief and patterns rather than the use of multiple materials.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 40: City Hall North Battleford (City of North Battleford)

5.3.4 Lighting:

Intent: Encouraging subtle improvements in lighting to improve safety and reinforcing the civic aesthetic of the character zone is the primary intention of the following guidelines.

Lighting^{1,2}	
Existing Construction	New Construction³
<ul style="list-style-type: none"> • Signage is encouraged to be illuminated by covered decorative down lighting. • Raised lettering may be backlit. 	<ul style="list-style-type: none"> • Architectural elements shall be illuminated with subtle down lighting. See Figure 41. • Signage shall be illuminated with covered down lighting or backlit if utilizing raised lettering.
<ul style="list-style-type: none"> • Lighting of the public sidewalk from a street wall is recommended 	<ul style="list-style-type: none"> • Lighting of the public sidewalk, and main level of the building, from the building or its elements is required.
<ul style="list-style-type: none"> • Architectural elements are encouraged to be subtly illuminated with down lighting along the base level of a façade. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 41: Down Lighting of Building façade Elements

5.3.5 Colour:

Intent: Within the CCZ, colour should help to establish a consistent overall palette. Accent colours should be of a subdued nature to avoid placing too much emphasis on one particular aspect of a building.

Colour ^{1,2}	
Existing Construction	New Construction ³
<ul style="list-style-type: none">• Colours are recommended to be warm earth tones. See Figure 42.	<ul style="list-style-type: none">• Colours shall be warm earth tones. See Figure 43.
<ul style="list-style-type: none">• Accent colours are recommended to be subdued in colour and tone to place emphasis on primary materials.	<ul style="list-style-type: none">• Accent colours shall be subdued in colour and tone to place emphasis on primary materials.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 42: Warm Earth Tones Brick Masonry (John Jackson Masonry)

5.3.6 Roofs:

Intent: Roofs found within the CCZ should either be of a low-slope roof type with articulated parapets helping to conceal each roof from the street. Visible roofing materials should consist of materials similar to metal roofs or high quality shingles. Asphalt shingles shall be avoided on non-residential buildings.

Roofs^{1,2}	
Existing Construction	New Construction³
<ul style="list-style-type: none"> Existing commercial, retail, office and municipal buildings are encouraged to utilize low-slope roof assemblies. 	<ul style="list-style-type: none"> New commercial, retail, office and municipal buildings shall utilize low-slope roof assemblies.
<ul style="list-style-type: none"> New roofs on existing buildings, other than residential and religious buildings, are recommended to be visibly concealed from the street using parapets. 	<ul style="list-style-type: none"> Asphalt shingles shall not be used on buildings other than detached single family residential buildings.
<ul style="list-style-type: none"> Metal roofing is permitted if the roof is currently viewed from the street. 	<ul style="list-style-type: none"> Sloped roofs are only permitted on single family residential buildings and religious buildings.
<ul style="list-style-type: none"> Asphalt shingles are permitted for re-roofing on single family residential homes and religious buildings only. 	<ul style="list-style-type: none"> Sloped roofs on religious buildings shall be clad in metal.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.

5.3.7 Site Coverage and Massing:

Intent: To further emphasize the civic inspired aesthetic of the CCZ, new buildings should have vertical façades along street faces no more than three storeys in height. Access to light on the street is promoted by requiring new construction to step back from the street if the building is over three stories in height.

Site Coverage and Massing^{1,2}	
Existing Construction	New Construction³
<ul style="list-style-type: none"> Vertical additions to buildings over three storeys shall step back 2.0 metres from the building's front façade, and from any side facing a street. 	<ul style="list-style-type: none"> New buildings shall step back 2.0m from the building's front façade, and from any side facing a street above three storeys in height.
<ul style="list-style-type: none"> Buildings are recommended to have no front setback other than areas designated for entrance plazas. 	<ul style="list-style-type: none"> New buildings situated on corner lots shall provide a landscaped entrance plaza at the street corner.
	<ul style="list-style-type: none"> New buildings shall be built to the front property line on all frontages facing a street except for areas reserved for entrance plazas on corner lots.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Existing residential properties located within the civic character zone are not subject to the guidelines.

³Guidelines apply in addition to the guidelines for Existing Buildings.

6.0 King Street Crossing Character Zone (KSCCZ):

6.1 Existing Character

The KSCCZ is located in the historical southern entrance to downtown North Battleford. The Character Zone includes lands south of Railway Avenue East, and properties within an area bounded by 11th Avenue on the north and to the east by 102nd Street. At the northwest corner of the Character Zone, Railway Avenue East transitions into 100th Street and the MSCZ. Similarly, 101st Street transitions into the KSCZ as it crosses 11th Avenue. See Figure 43.

As the area is adjacent the train station, it could be considered the historical entrance to North Battleford and would have been the first area of the city experienced by those arriving to better their lives over a century ago.

Similarly, to the First Nations, North Battleford continues to be a place where various cultures meet, engage and live together. Even today many new Canadians choose North Battleford as their home. This zone still reflects the transportation and mercantile hub from which downtown North Battleford has emerged. This peaceful gathering of cultures is a narrative that should be celebrated.

To visitors arriving in North Battleford from the east along Railway Avenue East, the KSCCZ provides the first impression of North Battleford's downtown, which is a contrasting visual experience. The area has a several notable buildings and portions have been recently redeveloped, yet the high incidence of surface parking lots unfortunately diminishes its character. The empty lots, although unfortunate, also set the stage for the possibility of exciting new development.

6.2 Existing Proportion, Scale and Notable Buildings

The existing proportion and scale of the architecture found within the KSCCZ is that of one- to three- storey commercial buildings with most being built up to the property line. Existing buildings along 101st Street have well established storefronts that should be maintained and one building in particular, 1092-101st Street, is of high heritage interest. Buildings along the western side of 102nd Street portray an industrial aesthetic while opposite to the KSCCZ the southern side of Railway Avenue exists a historic aesthetic which contains the CN Rail Building, The Saskatchewan Provincial Court and the Allen Sapp Gallery - each being impressive architectural statements.

The southern threshold of the Character Zone contains the CN Rail Station (see Figure 46), North Battleford Travel Lodge and a recently built brick building occupied by a liquor

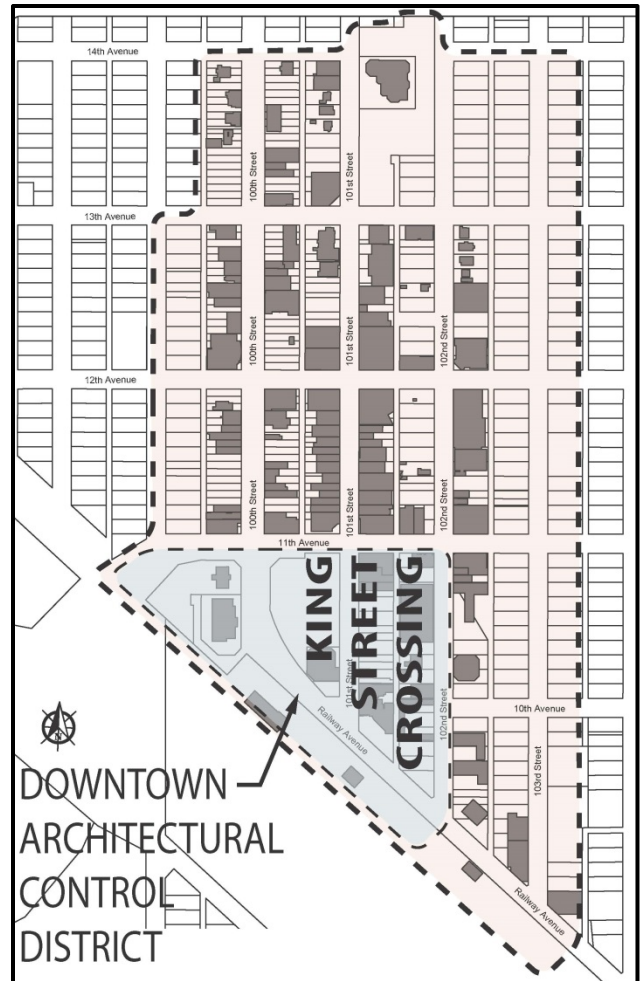


Figure 43: King Street Crossing Character Zone

Figure 44: Railway Avenue East and 101st Street
(Saskatchewanoilreport.com)



store. See Figure 44. The liquor store is aesthetically appealing, as its exterior is covered in murals, but it lacks glazing and as such does not address the street. Its surrounding grounds have been upgraded and landscaped. Beyond the liquor store development, large surface parking lots dominate the landscape.

The KSCCZ guidelines herein attempt to encourage the transformation of this small zone of downtown into a the City’s mercantile hub – an indoor and outdoor marketplace - which could assist in celebrating the concept of North Battleford as a meeting place of cultures and as a regional trading destination.

6.3 King Street Crossing Character Zone Architectural Guidelines

To enhance the KSCCZ as the marketplace of North Battleford, the KSCCZ should portray a festive and welcoming environment. Buildings should be encouraged to address both their street frontages and a central open market square that engages residents and visitors alike. These guidelines are intended to promote architectural designs based on a warehouse/market aesthetic (see Figure 45) which signifies the celebration of peaceful interaction between cultures, a theme that is exemplified within the City of North Battleford.



Figure 45: Saskatoon’s Farmer’s Market (Downtown Saskatoon)



Figure 46: CN Rail Station

6.3.1 Fenestration:

Intent: The intent of the architectural Guidelines within the KSCCZ is to ensure that patterns of openings of doors and windows relate to the unique market environment of the Character Zone. Fenestration should reinforce safety, ensuring “eyes on the street” while creating a welcoming environment that contributes to the area’s unique character.

Fenestration is divided into two major categories Windows/Glazing and Exterior Doors/Storefront Entrances.

Windows and Glazing ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> • Clear glazing should be used along storefronts at main floor level. 	<ul style="list-style-type: none"> • New construction shall incorporate a minimum of 60% clear, storefront glazing on the main floor.
<ul style="list-style-type: none"> • Dark tinted glass, reflective and opaque glass is not recommended. 	<ul style="list-style-type: none"> • Dark tinted, reflective or opaque glass is not permitted within base level storefront glazing.
	<ul style="list-style-type: none"> • Double fronted buildings shall have glazing on both their external street and interior plaza façades.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

Doors and Entrances ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> • Reflective and opaque glazing is not permitted in main entrance doors. 	<ul style="list-style-type: none"> • See DACD.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.

6.3.2 Signage, Awnings and Canopies:

Intent: The intent of the following guidelines is to ensure that signage, awnings and canopies within the KSSCZ create the Character Zone’s identity of being the marketplace of North Battleford. Signage is intended to be readily visible to passing motorists along Railway Avenue and be tailored to pedestrians with a market aesthetic on all other street frontages. The current zoning bylaw of North Battleford sets regulations for signage in commercial districts (see 4.10.8 of the North Battleford Zoning Bylaw). It is the intent of the architectural guidelines to create additional limits on signage so that signage complies with the overall theme of the Main Street Character Zone as an urban retail, business and service hub.

Signage, Awnings and Canopies ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> • Existing signs along Railway Avenue are encouraged to be upgraded so that they are readily identifiable to passing motorists. 	<ul style="list-style-type: none"> • Signs that portray a warehouse/market aesthetic are recommended.
<ul style="list-style-type: none"> • Signs are encouraged to consist of raised lettering. See Figure 47. 	
<ul style="list-style-type: none"> • A maximum of one primary horizontal sign is permitted over a storefront. 	
<ul style="list-style-type: none"> • A maximum of one blade signs is permitted. 	
<ul style="list-style-type: none"> • Roofs signs are permitted but require review completed the DRC. 	
<ul style="list-style-type: none"> • Seasonal vertical banners, or flags, mounted to the building face, may be permitted, subject to review by the DRC. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 47: Raised Lettering on Signage (Realestate of Edmonton)

6.3.3 Materiality:

Intent: In order to create the warehouse/market aesthetic theme of the KSSCZ as being the major mercantile hub of North Battleford. Materials shall reinforce the market and warehouse aesthetic of the Character zone by incorporating a lively mixed pallet of high quality durable materials composed of masonry, metal and/or wood cladding.

Materiality ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> Retrofits of façades should attempt to incorporate masonry, steel, metal cladding and wood. 	<ul style="list-style-type: none"> Permissible cladding includes masonry, glass, steel and/or metal cladding. See Figure 48.
<ul style="list-style-type: none"> A creative mix of cladding materials is recommended. 	<ul style="list-style-type: none"> Façade designs shall consist of a creative mix of cladding materials.
<ul style="list-style-type: none"> Accent materials are encouraged to be made from wood or steel. 	<ul style="list-style-type: none"> Areas of primarily blank façades shall be intentionally designed for the implementation of artwork which celebrate the theme of the KSSCZ. See Figure 50.
<ul style="list-style-type: none"> It is recommended that portions of primarily blank façades are dedicated to the application of artwork displaying the theme of the KSSCZ. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 48: Metal and Glass Cladding Materials (Inside Vancouver)

6.3.4 Lighting:

Intent: The intent of the guidelines is provide additional requirements regarding lighting within the KSCCZ to improve safety, marketability and the aesthetic characteristics of building's façades and the corresponding streetscape. Within the KSCZ façade and building lighting is of particular importance in winter months as it can create a pleasant and inviting atmosphere and help to reinforce the Character Zone's identity as a market/warehouse/meeting place and to encourage its use year round. Lighting is intended to be used to highlight architectural elements, the public sidewalk and to create a visual aesthetic of cultural celebration.

Lighting¹	
Existing Construction	New Construction²
<ul style="list-style-type: none"> Provision of lighting upgrades that places emphasis on architectural elements at the base level is recommended. 	<ul style="list-style-type: none"> Buildings shall incorporate lighting which places emphasis on architectural elements.
<ul style="list-style-type: none"> It is recommended that existing buildings illuminate artwork with down-lighting. 	<ul style="list-style-type: none"> Artwork shall be illuminated by down-lighting. See Figure 50.
<ul style="list-style-type: none"> Subtle lighting that helps to create a visual celebratory atmosphere is recommended. 	<ul style="list-style-type: none"> Building designs are encouraged to include subtle yet creative lighting designs that help to create a visual celebratory atmosphere within the KSCCZ. Colored or color-changing lighting is encouraged. See Figure 49.
<ul style="list-style-type: none"> Signage is recommended to be illuminated with down lighting. 	<ul style="list-style-type: none"> New signage shall be illuminated with down lighting.
<ul style="list-style-type: none"> It is recommended that buildings provide subtle down-lighting to illuminate circulation paths within 2.0m on all public sides of a building. 	<ul style="list-style-type: none"> New buildings shall provide evenly distributed down lighting on all frontages facing a street or plaza and over all public circulation paths within 2.0m of side walls.
<ul style="list-style-type: none"> Carefully placed subtle up-lighting is permissible within the KSCCZ to place emphasis of significant building features as long as it does not interfere with neighbouring properties and air traffic, and as long as attempts are made to control light pollution. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 49: Lighting Creates a Celebratory Atmosphere

6.3.5 Colour:

Intent: The intent of the following guidelines is to ensure that colours are applied to new or renovated building façades to enhance the overall identity of the KSCCZ as a regional mercantile hub. Buildings of Heritage Interest are encouraged to rejuvenate their existing warm coloured masonry façades to provide a strong base to support the newer theme that celebrate cultural diversity. Colours are encouraged to be used creatively to conform to the thematic identity of the KSCCZ.

Colour ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> Use of colour is not restricted. 	<ul style="list-style-type: none"> New buildings shall use combinations of vibrant colours for exterior cladding. See Figure 48 and 49.
<ul style="list-style-type: none"> A creative use of colour with a warehouse aesthetic is recommended for buildings facing the centre of the KSCCZ. 	

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 50: Artwork adds Vibrancy and Character

6.3.6 Roofs:

Intent: The intent of the following guidelines is to ensure that complementary roof systems are used within the KSCCZ when viewed from the street below. In order to build upon the theme of cultural diversity and peaceful interaction, buildings are encouraged to use interconnecting sloped and flat roofs within a warehouse/market aesthetic to add vibrancy to the area.

Roofs ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> Where possible buildings are encouraged to create outdoor patios on roofs. 	<ul style="list-style-type: none"> New buildings are encouraged to utilize both flat and sloped roofs that interconnect in a creative manner informed by the theme of the KSCCZ. See Figure 49 and 51.
	<ul style="list-style-type: none"> Asphalt shingles are not acceptable for use on sloped roofs. See Figure 51.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 51: Flat and Sloped Roof Example (Greg Watts Photography)

6.3.7 Site Coverage and Massing:

Intent: The intent of the following guidelines are to ensure that building massing within the KSCCZ helps to create a warehouse/market atmosphere. Massing within the KSCCZ should celebrate the theme of cultural diversity through the creation of new built form that uses interconnecting forms of complementary architectural character to create a cohesive whole.

Site Coverage and Massing ¹	
Existing Construction	New Construction ²
<ul style="list-style-type: none"> Additions to existing built form are recommended to consist of contrasting but complementary built forms that utilize elements that interconnect with neighbouring buildings. 	<ul style="list-style-type: none"> New buildings designs are encouraged to have massing that utilizes interconnecting forms that celebrates the theme of cultural diversity.
	<ul style="list-style-type: none"> New buildings shall be a maximum of three storeys and step back above two storeys a minimum of 1000mm to allow for variance in built form.
	<ul style="list-style-type: none"> Buildings on the block bounded by 11th Avenue, Railway Avenue, 100th and 101st Streets shall have double frontages where possible allowing for the creation of a central “mews” with an internal plaza.
	<ul style="list-style-type: none"> Buildings with double frontages shall utilize protected arcades over public walkways. See Figure 52.

¹These guidelines apply in *addition to and may supercede* those guidelines outlined within the DACD.

²Guidelines apply in addition to the guidelines for Existing Buildings.



Figure 52: Halifax Seaport Farmers Market (RCS Construction)

7.0 Design Review Committee (DRC)

7.1 Design Review Committee:

A design review committee consisting of three to five advisors from a list of pre-qualified professionals will be selected by City Council to review proposals for projects affecting the exterior envelope or site/streetscape within the Downtown Architectural Control District. See Figure 3 for the extent of this area.

The list of pre-qualified advisors could include but may not be limited to city planners, architects, landscape architects, academics in design-related fields or any other professional deemed appropriate by the City of North Battleford. The selected advisors will vary and be selected by the type of proposal being reviewed, however, a minimum of one member from the City of North Battleford's Heritage Advisory Committee will sit on the DRC at all times. Advisors will be excused from the DRC should there be a conflict of interest with any project being reviewed.

It would be the mandate of the DRC to convene to review submissions from applicants to ascertain compliance with the intent of the architectural controls within. The DRC must convene, review and report to city administration within three (3) weeks of application.

7.2 Submission Requirements:

For new construction, submissions for DRC review must include, at minimum, two copies of the following information:

1. The names, addresses and telephone numbers of the applicant, property owner, and the person or consultant who prepared the plans being submitted - including a local contact person;
2. The proposed use of the site or building to be constructed, including the building area and floor area of the proposed building;
3. The complete legal description and civic address of the subject property including a location plan showing the site's placement within the DACD.
4. A site plan to scale and with a north arrow showing intended building layout, parking and landscaped areas, relationship to existing City of North Battleford streetscape, and major site grading implications;
5. Floor and roof plans to scale. Overall dimensions are required;
6. A three-dimensional physical model or still images created from a computerized massing model showing aerial and street level images of the proposed project from the four directions. Existing built context immediately adjacent the site must be shown;
7. One (1) exterior materials and colour sample board;
8. The exterior elevations of each façade to scale showing existing built context (if any) on either side of the site. Material indications must be provided;

For renovations to existing buildings, submissions for DRC review must include, at minimum, two copies of the following information:

1. The names, addresses and telephone numbers of the applicant, property owner, and the person or consultant who prepared the plans being submitted - including a local contact person;
2. The proposed use of the site or building and a description of the proposed scope of the renovation;
3. The complete legal description and civic address of the subject property including a location plan showing the site's placement within the DACD;
4. A site plan to scale and with a north arrow showing intended building layout, parking and landscaped areas, relationship to existing City of North Battleford streetscape, and major site grading implications (as applicable);
5. Floor and roof plans to scale (as applicable). Overall dimensions are required;
6. One (1) materials and colour sample board;
7. The exterior elevations of each façade (as applicable) to scale showing existing built context (if any) on either side of the site. Material and colour indications must be provided.

An application fee will be required for design reviews. Contact the city of North Battleford.

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